



ARCHITECTURAL DRAWING SCHEDULE

ID	DRAWING	REV	SCALE	PAGE
A00	COVER SHEET	E	NTS	A3
A01	SITE PLAN/ROOF PLAN	G	1:200	A3
A02	SITE ANALYSIS PLAN	E	1:200	A3
A03	BASEMENT LEVEL	H	1:200	A3
A04	GROUND FLOOR	I	1:200	A3
A05	ELEVATIONS	G	1:200	A3
A06	3D PERSPECTIVES PAGE 1	E	NTS	A3
A07	3D PERSPECTIVES PAGE 2	E	NTS	A3
A08	SCHEDULE OF MATERIALS & FINISHES	E	NTS	A3
A09	NOTIFICATION PLAN	E	VARIOUS	A3

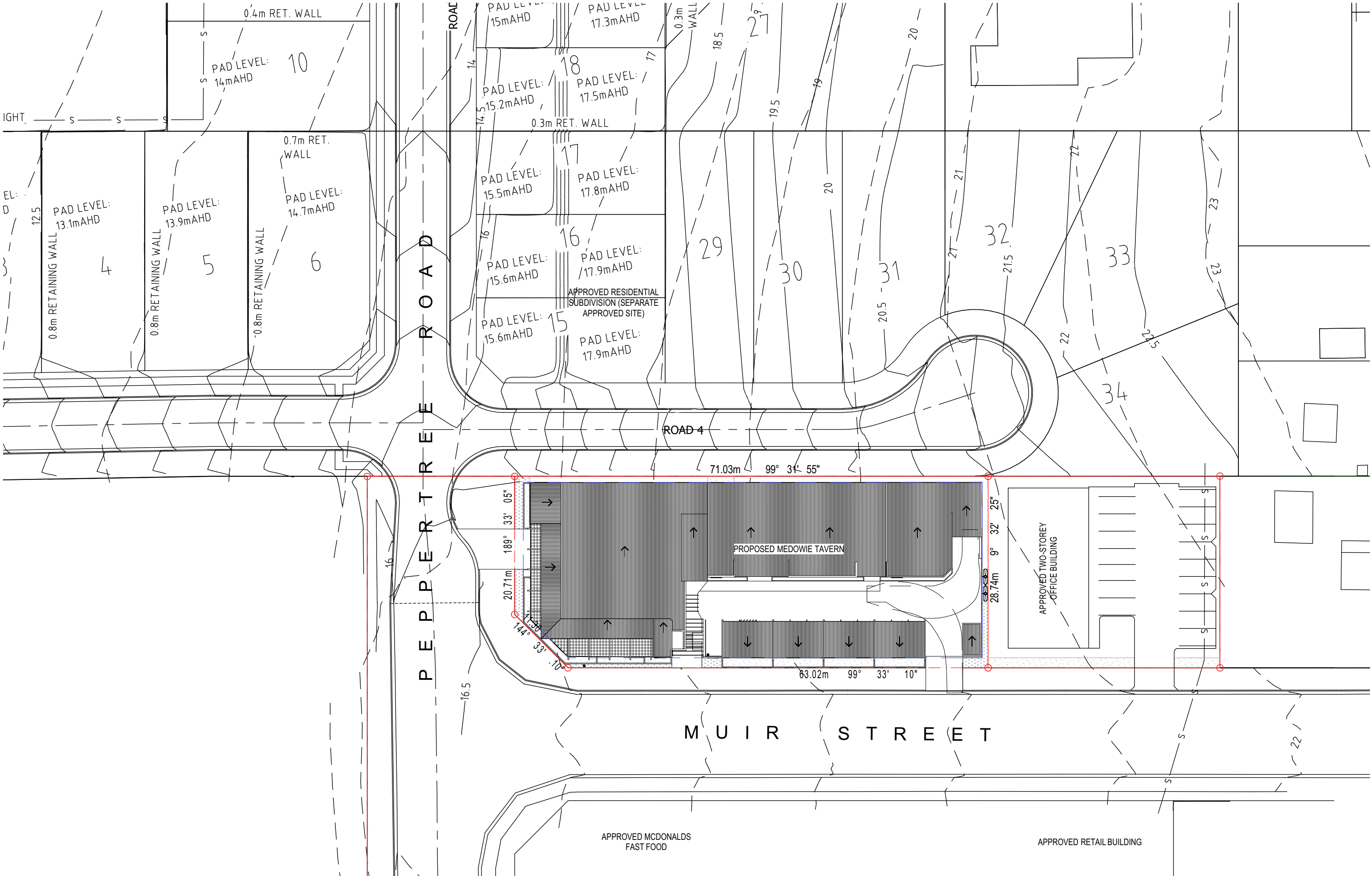
MEDOWIE
FAMILY TAVERN

CORNER MUIR STREET & PEPPERTREE
ROAD, MEDOWIE, NSW 2300

DA ISSUE

REVISION I





REV	DATE	COMMENTS
A	19/02/2020	FINAL COORDINATION ISSUE
B	21/02/2020	AMENDED COORDINATION ISSUE
C	21/02/2020	INTERNAL ISSUE FOR QA
D	21/02/2020	ISSUED FOR DA
E	24/02/2020	REVISED DA ISSUE
F	28/07/2020	REVISED DA ISSUE
G	29/07/2020	ISSUED FOR DA

DRN	CHKD	VRFD
RIW	RIW	RIW
RIW	RIW	RIW
RIW	RIW	RIW
RIW	RIW	DJW
RIW	RIW	RIW
RIW	RIW	RIW
RIW	RIW	DJW

PROJECT: MEDOWIE FAMILY TAVERN

CLIENT: MAVID GROUP
81 MUSTANG DRIVE, RUTHERFORD
NSW, POSTCODE

SITE: MUIR STREET MEDOWIE NSW 2318
AUSTRALIA

DRAWING: SITE PLAN/ROOF PLAN



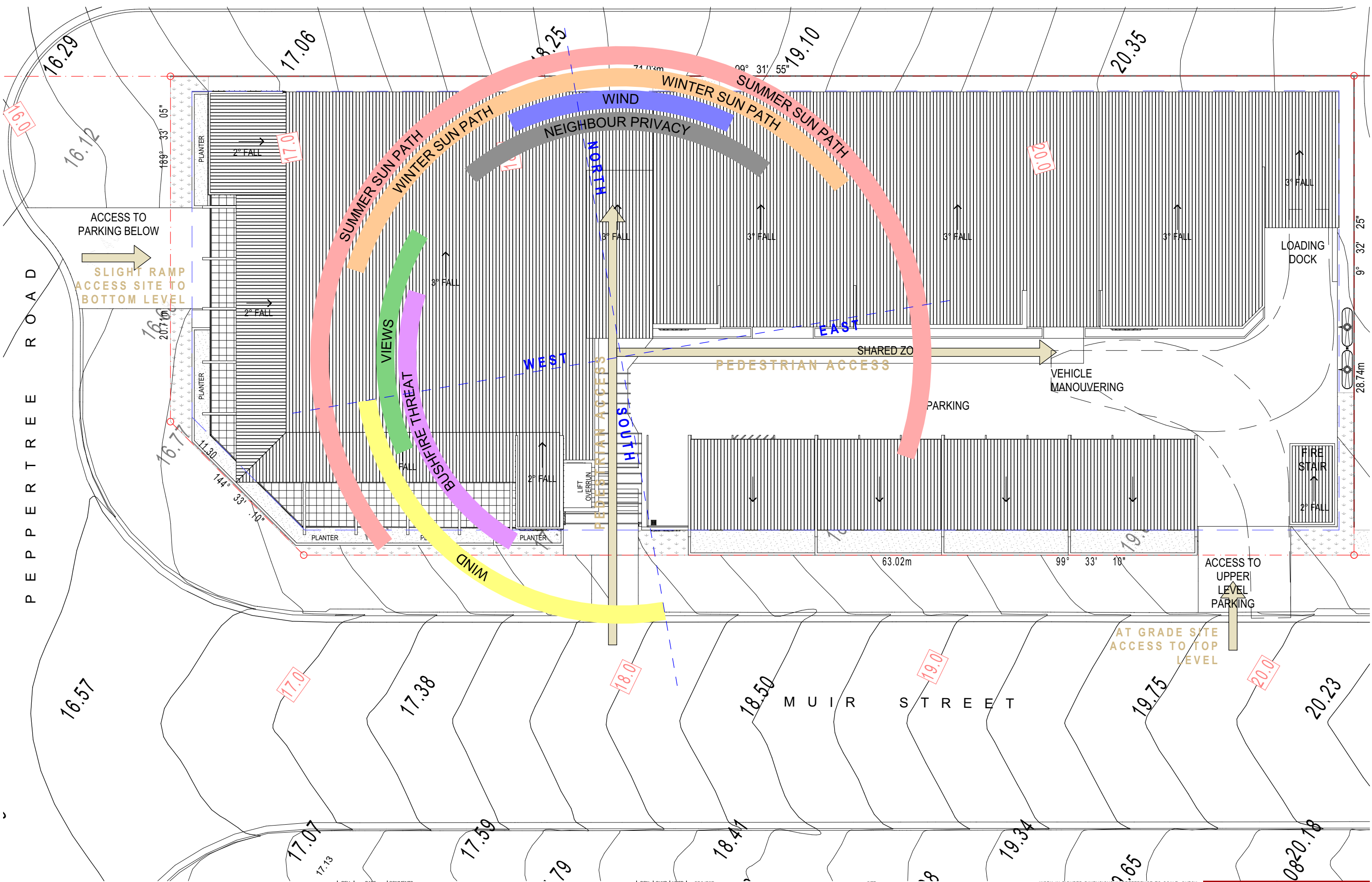
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FILENAME: 13003-DA_A.ppt

DRAWN: **RIW** DATE: **29/07/2020** SCALES @A3: **1:500**

PROJECT No: **13003 DA** PHASE: **DA** DRAWING No: **A01** REV: **G**





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D	28/07/2020	REVISED DA ISSUE
E	29/07/2020	ISSUED FOR DA

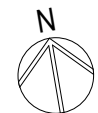
DRN	CHKD	VRFD
RIW	RIW	
RIW	RIW	DJW
RIW	RIW	RIW
RIW	RIW	RIW
RIW	RIW	DJW

PROJECT: MEDOWIE FAMILY TAVERN

SITE: MUIR STREET MEDOWIE NSW 2318 AUSTRALIA

CLIENT: MAVID GROUP
81 MUSTANG DRIVE, RUTHERFORD NSW, POSTCODE

DRAWING: SITE ANALYSIS PLAN



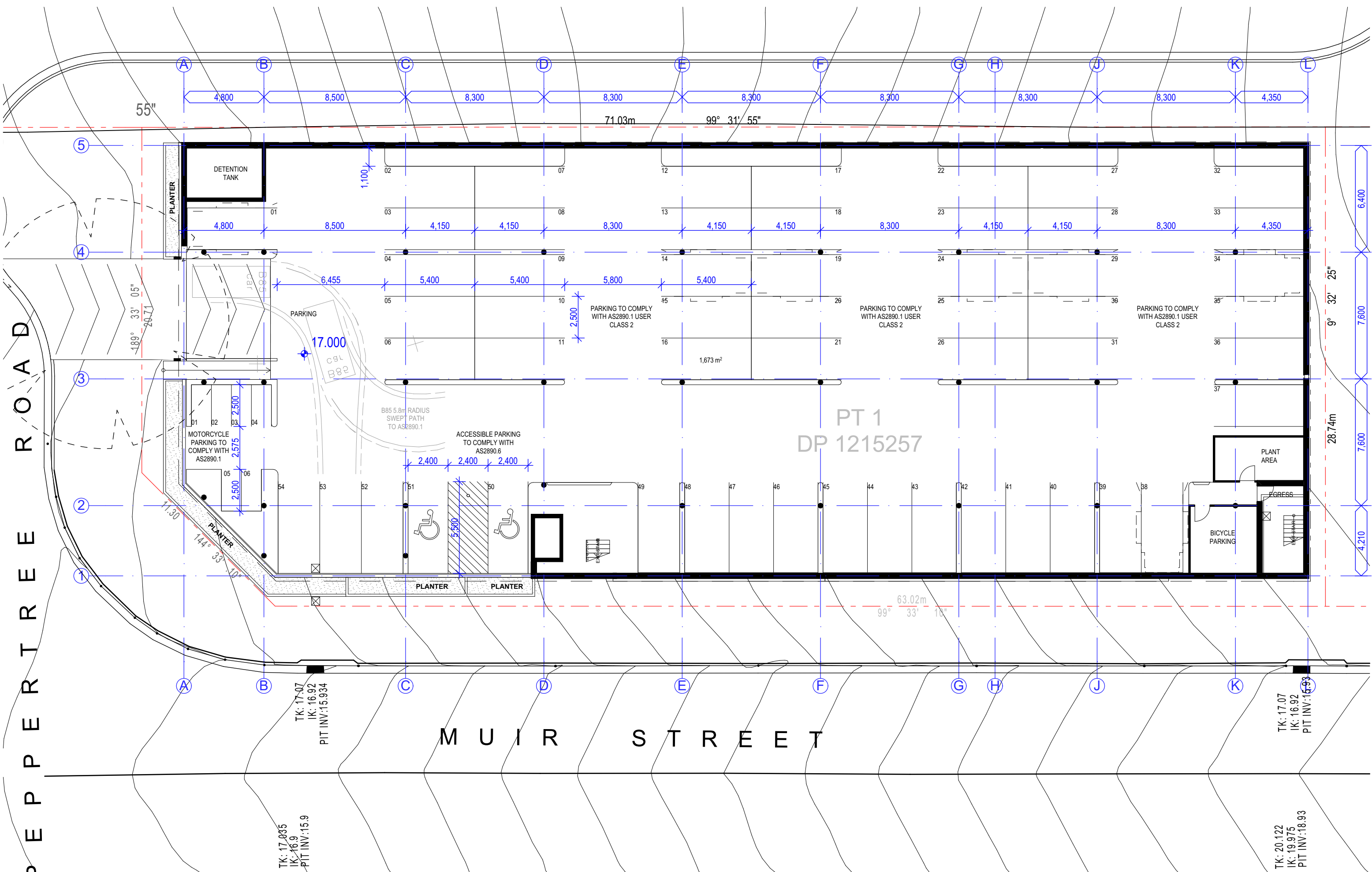
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FILENAME: 13003-DA_A.ph

DRAWN: **RIW** DATE: **29/07/2020** SCALES @A3: **1:200**

PROJECT No: **13003 DA** PHASE: **A02** DRAWING No: **A02** REV: **E**





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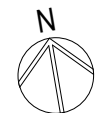
REV	DATE	COMMENTS
A	12.02.2020	PRELIMINARY CONSULTANT ISSUE
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G	28/07/2020	REVISED DA ISSUE
H	29/07/2020	ISSUED FOR DA

DRN	CHKD	VRFD
RIW	RIW	RIW
RIW	RIW	RIW
RIW	RIW	RIW
RIW	RIW	DJW
RIW	RIW	RIW
RIW	RIW	RIW
RIW	RIW	DJW

PROJECT: MEDOWIE FAMILY TAVERN
CLIENT: MAVID GROUP
81 MUSTANG DRIVE, RUTHERFORD
NSW, POSTCODE

SITE: MUIR STREET MEDOWIE NSW 2318
AUSTRALIA

DRAWING: BASEMENT LEVEL

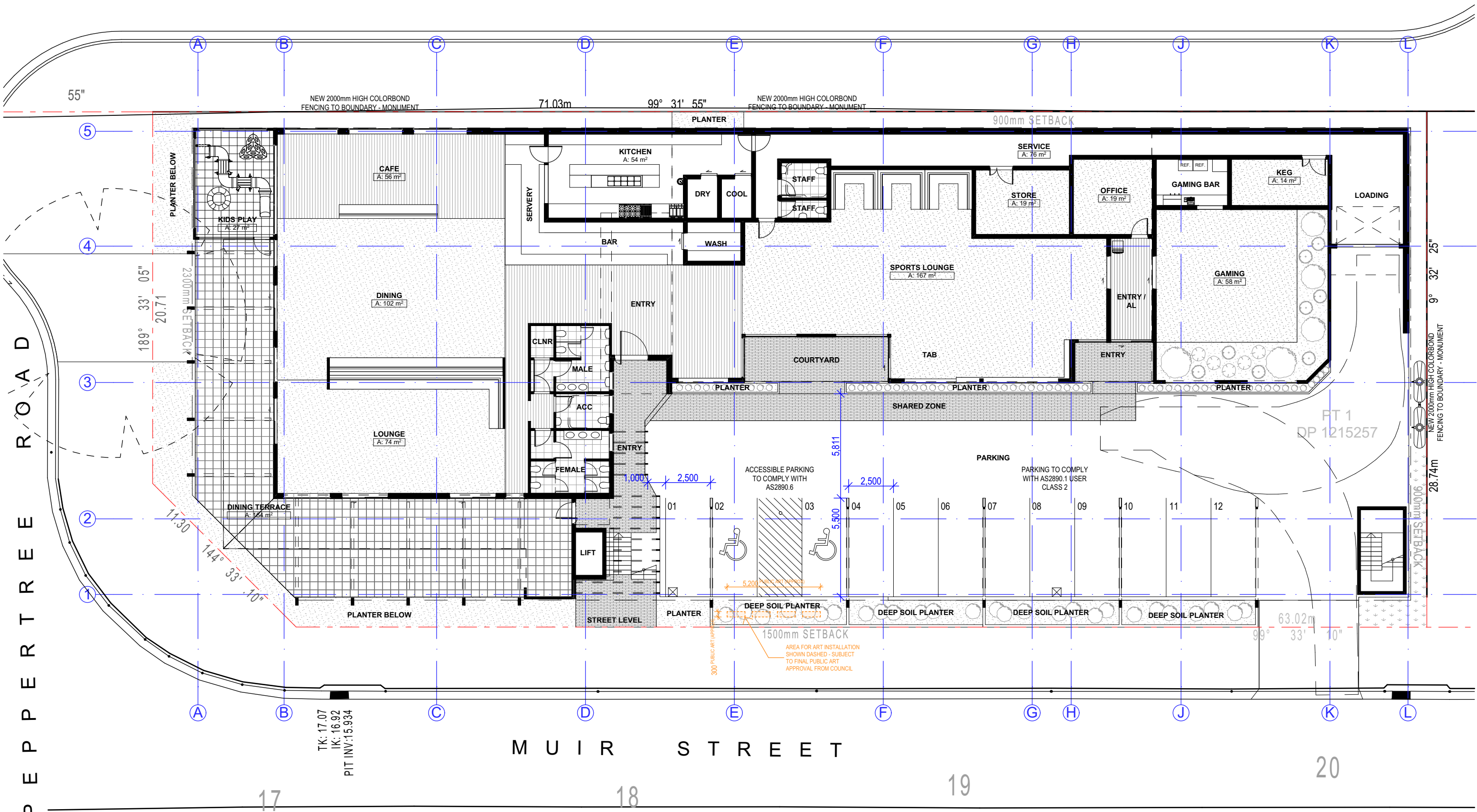


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FILENAME: 13003-DA_A.ppt
DRAWN: **RIW**
DATE: **29/07/2020**
SCALES @A3: **1:200**

PROJECT No.: **13003 DA**
PHASE: **A03**
DRAWING No.: **H**
REV: **H**





GROSS FLOOR AREA	
PUBLIC INTERNAL	579m ²
PUBLIC EXTERNAL (TERRACE)	164m ²
PUBLIC AMENITIES	43m ²
B.O.H.	252m ²

TK: 17.035
IK: 16.9
PIT INV: 15.9

TK: 20.122
IK: 19.975
PIT INV: 18.93

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E	21.02.2020	ISSUED FOR DA
F	24.02.2020	REVISED DA ISSUE
G	28.07.2020	REVISED DA ISSUE
H	29.07.2020	ISSUED FOR DA
I	7.08.2020	ISSUED FOR INFORMATION
J	23.11.2020	PUBLIC ART INSTALLATION ADDED

DRN	CHKD	VRFD	PROJECT
RIW	RIW	RIW	MEDOWIE FAMILY TAVERN
RIW	RIW	RIW	
RIW	RIW	RIW	
RIW	RIW	DJW	
RIW	RIW	RIW	
RIW	RIW	RIW	
RIW	RIW	DJW	
JAC	RIW		
RIW	RIW	RIW	

CLIENT: MAVID GROUP
81 MUSTANG DRIVE, RUTHERFORD
NSW, POSTCODE

SITE: MUIR STREET MEDOWIE NSW 2318
AUSTRALIA

DRAWING: GROUND FLOOR

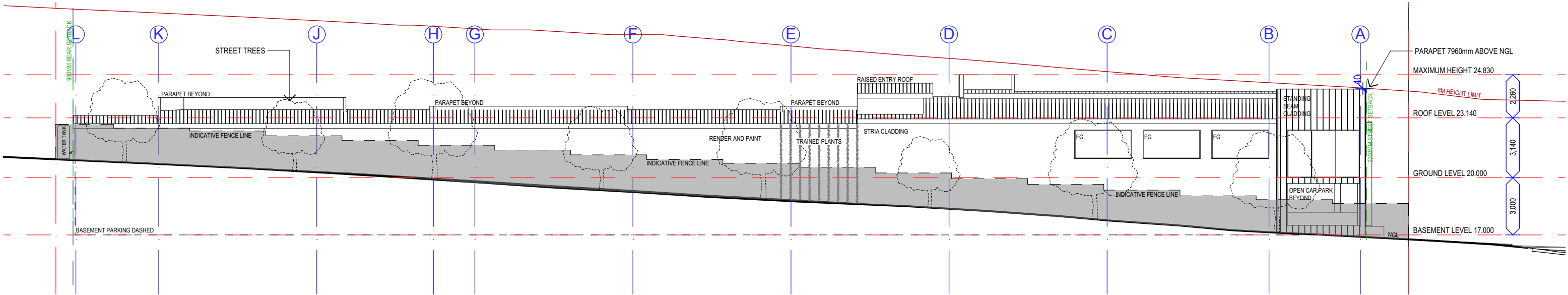
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FILENAME: 13003-DA_A.pptx

DRAWN: **RIW** DATE: **23.11.2020** SCALES @A3: **1:200**

PROJECT No: **13003 DA** PHASE: **A04** DRAWING No: **J** REV: **J**

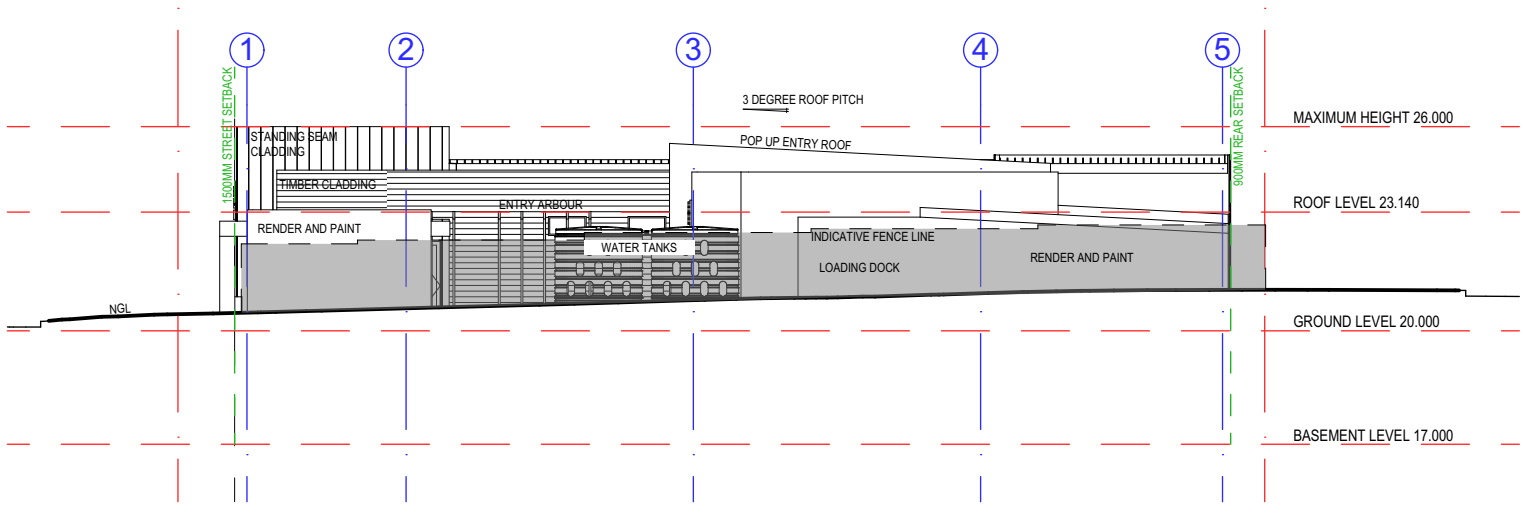




E01

NORTH ELEVATION

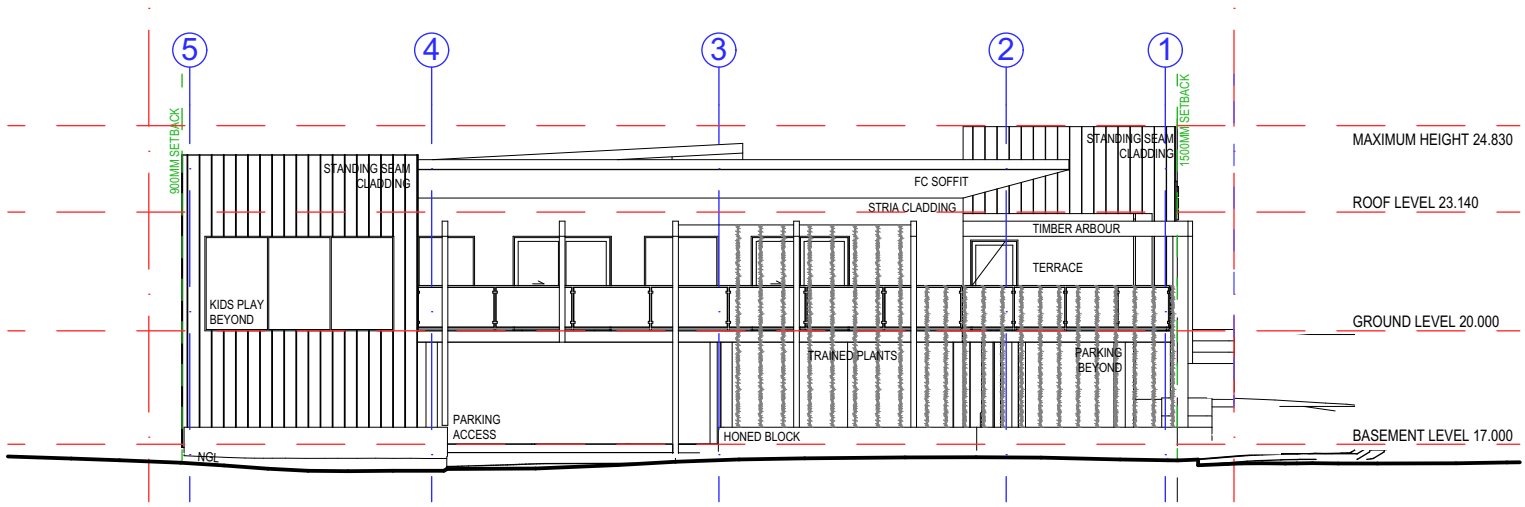
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E02

EAST ELEVATION

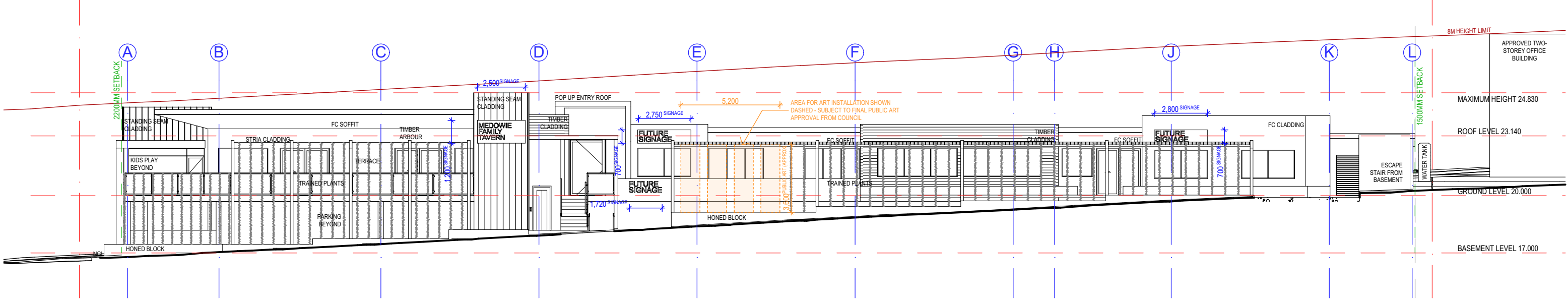
1:200



E03

WEST ELEVATION

1:200



E04

SOUTH ELEVATION

1:200

#LayID

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D	21.02.2020	ISSUED FOR DA
E	24.02.2020	REVISED DA ISSUE
F	28.07.2020	REVISED DA ISSUE
G	29.07.2020	ISSUED FOR DA
H	30.09.2020	CHANGES AS CLOUDED
I	23.11.2020	PUBLIC ART INSTALLATION ADDED

DRN	CHKD	VRFD	PROJECT
RIW	RIW	RIW	MEDIOWIE FAMILY TAVERN
RIW	RIW	RIW	
RIW	RIW	RIW	
RIW	RIW	DJW	
RIW	RIW	RIW	
RIW	RIW	RIW	
RIW	RIW	DJW	
RIW	RIW	RIW	
RIW	RIW	RIW	

CLIENT
MAVID GROUP 81 MUSTANG DRIVE, RUTHERFORD NSW, POSTCODE

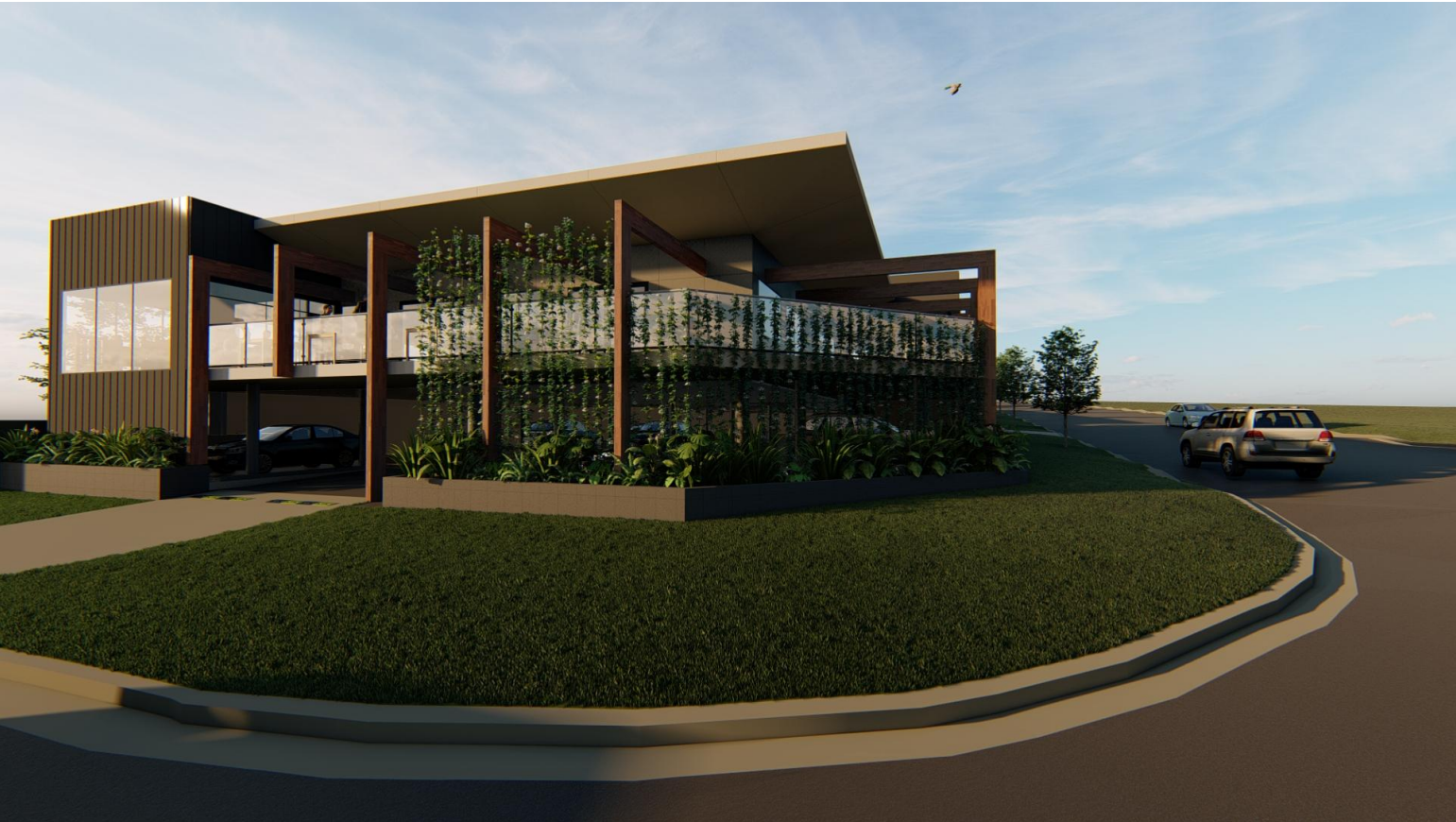
SITE	MUIR STREET MEDOWIE NSW 2318 AUSTRALIA
DRAWING	ELEVATIONS

WORK IN FIGURED DIMENSIONS IN PREFERENCE TO SCALE. CHECK DIMENSIONS AND LEVELS ON SITE PRIOR TO THE ORDERING OF MATERIALS OR THE COMPLETION OF WORKSHOP DRAWINGS. IF IN DOUBT ASK, REPORT ALL ERRORS AND OMISSIONS.
FILENAME : 13003-DA_A.ph
DRAWN : RIW
DATE : 23.11.2020
SCALES @A3 : 1:200
PROJECT No : 13003 DA
PHASE : A05
DRAWING No : A05
REV : I





VIEW FROM WEST TOWARD KIDS PLAY AND CAR PARK



WESTERN ELEVATION



VIEW OF CORNER



ENTRY VIEWED FROM SOUTH



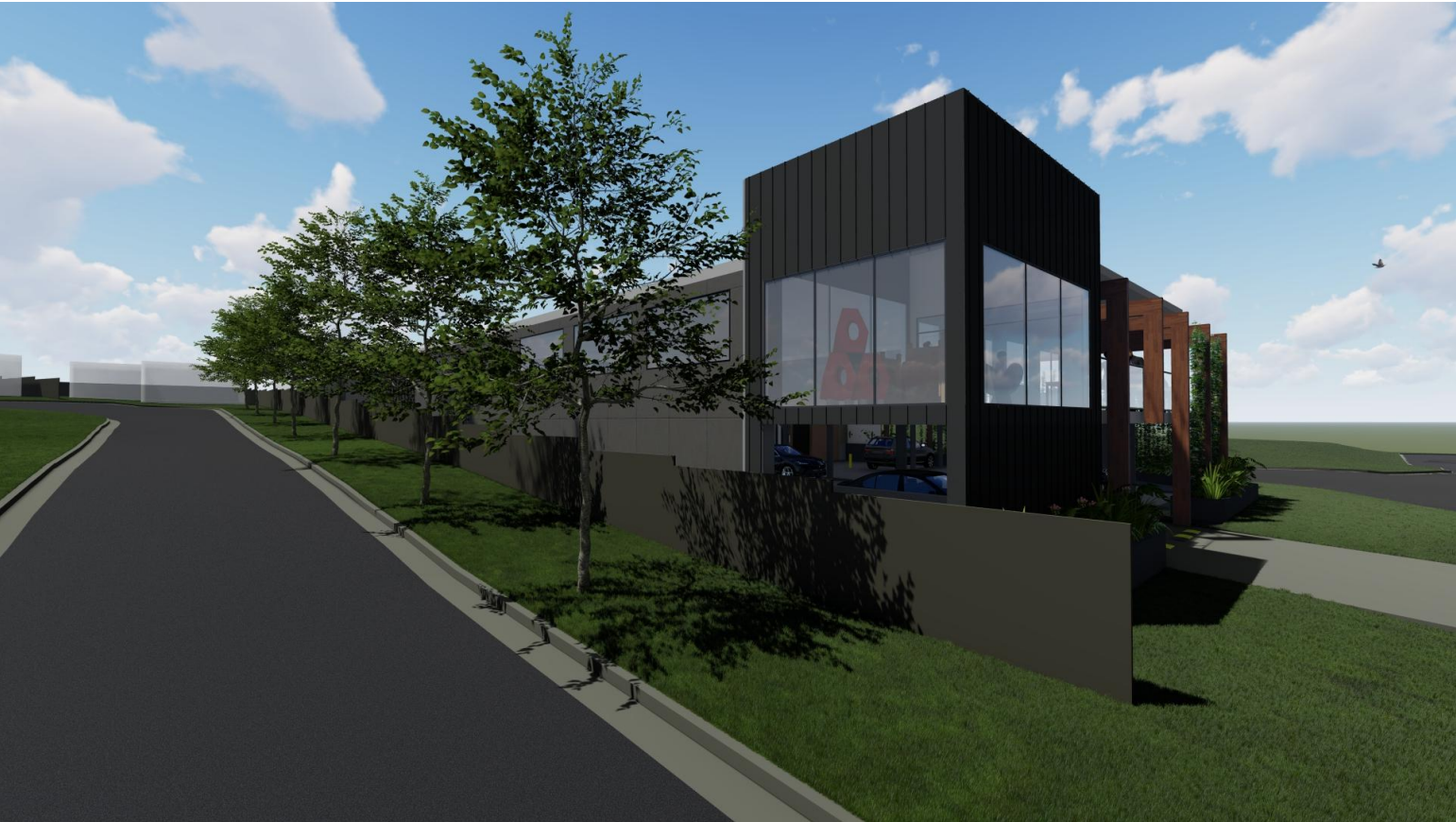
ENTRY SEQUENCE



UPPER CAR PARK VIEW



DRONE VIEW



NORTHERN BOUNDARY VIEW



COLORBOND STANDING SEAM CLADDING



CORTEN STEEL HIGHLIGHTS



JAMES HARDIE STRIA CLADDING



PAINTED EXPRESSED CFC SOFFIT



BLACKBUTT TIMBER CLADDING



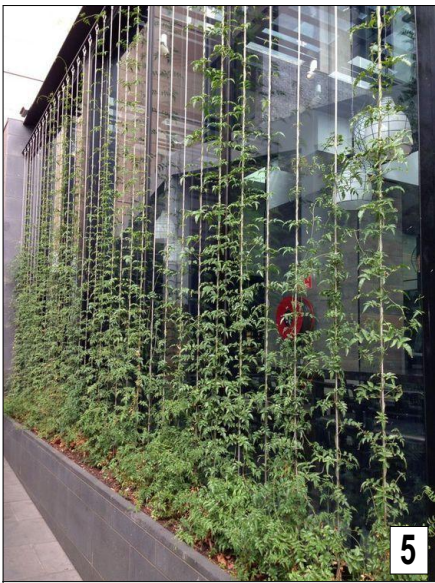
DARK HONED BLOCKWORK



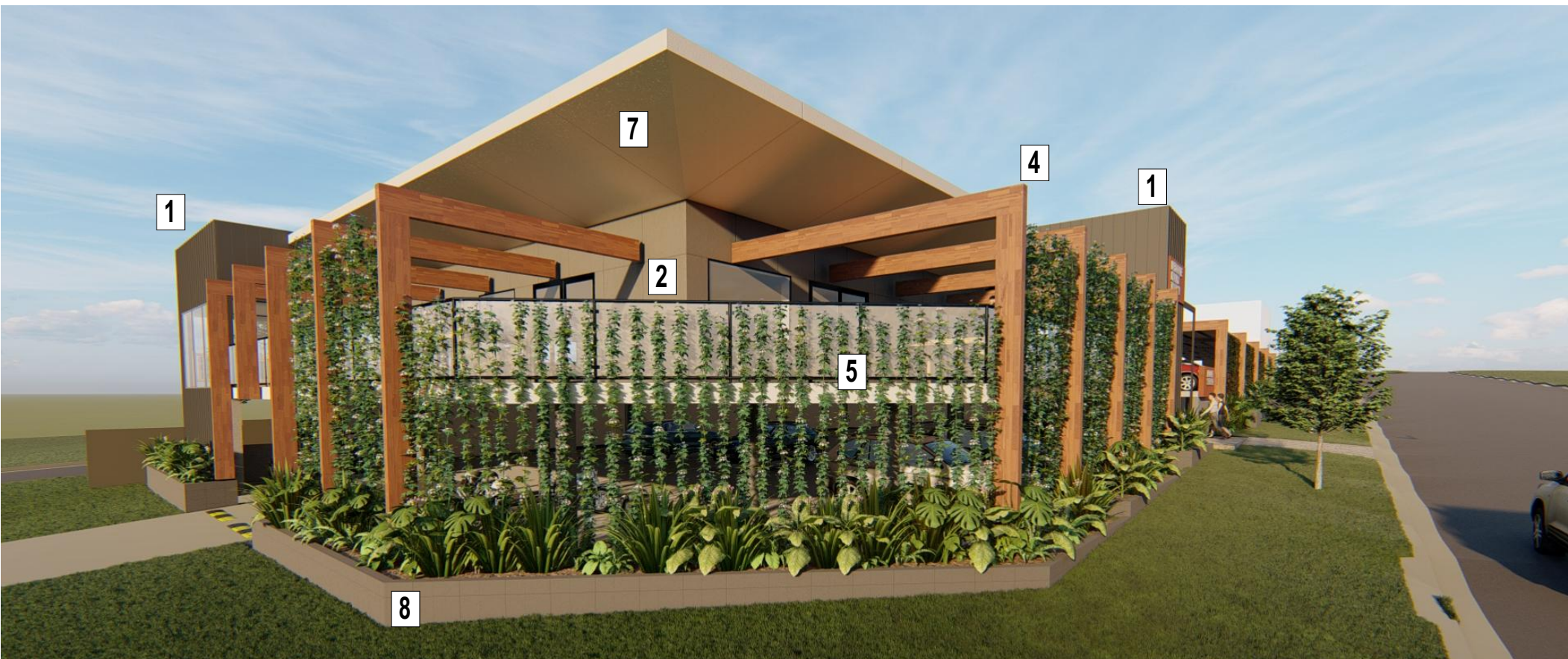
BLACKBUTT TIMBER ARBOUR



PAINTED STEEL ENTRY ARBOUR



TRAINED TRELLIS PLANTING





DRAWING REGISTER

DRAWING NUMBER	SHEET NAME	REV. No.	REV. DATE
11904.5 >> DA L000	COVER PAGE	A	21/2/20
13003.5 DA L101	LANDSCAPE PLAN	A	21/2/20
13003.5 DA L201	PLANTING SCHEDULE	A	21/2/20

landscape development application

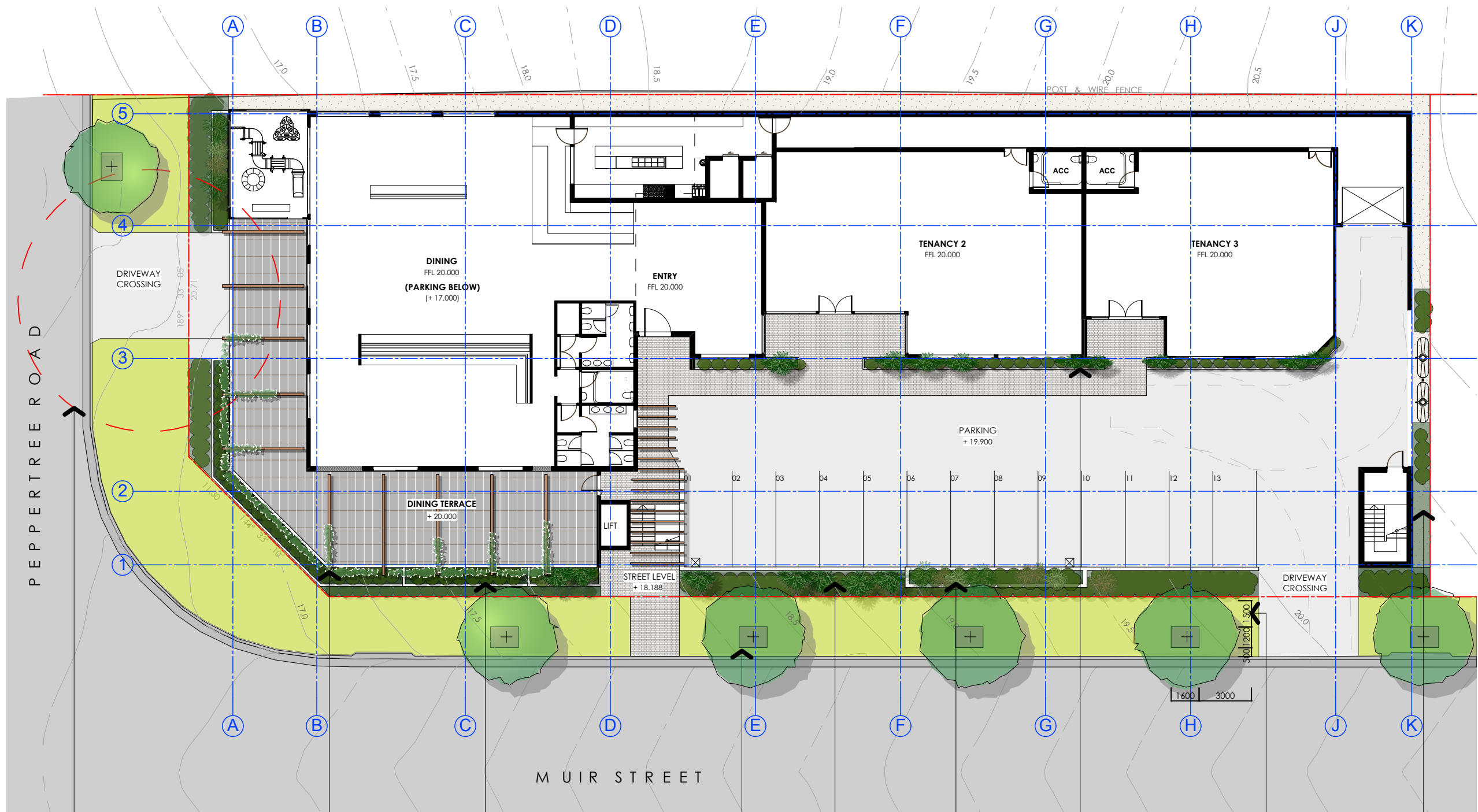
MEDOWIE MIXED USE

MAVID GROUP, 81 MUSTANG DRIVE, RUTHERFORD
MUIR STREET MEDOWIE, NSW, 2318



LANDSCAPE PLAN | L101

MEDOWIE MIXED USE



LEGEND

- TURF AREA AS SPECIFIED
- GENERAL MASS PLANTED GARDEN BEDS
- OXIDE COL. CONC. BROOM FINISH- BROOM OVER TOOL EDGE
- PAVERS AS SPECIFIED.
- GRAVEL AS SPECIFIED
- TRELLIS STRUCTURE TO ARCHITECTS DETAILS
- NEW STREET TREE PLANTING
Tristaniopsis Laurina 'Luscious'
MULCH TO BASE OF TREE.
- VERTICAL CLIMBING PLANTS
Stephanotis floribunda,
Trachelospermum jasminoides
ON STAINLESS STEEL VERTICAL WIRES.

A 21/2/20 DA ISSUE
REV DATE COMMENTS

PROJECT:
MEDOWIE MIXED USE

SITE:
MUIR STREET MEDOWIE, NSW, 2318

CLIENT:
MAVID GROUP, 81 MUSTANG DRIVE, RUTHERFORD

13003.5_Medowie Mixed Use.vrxw 21/2/20

DRAWN: AP / PW DATE: 21.02.20 SCALE: 1:250@A3

JOB NUMBER: 13003.5 DA L101 A PHASE: DWG No: REV:

EXISTING TREE TO BE REMOVED.

CLIMBERS, *Stephanotis floribunda* AND *Trachelospermum jasminoides* ON VERTICAL STAINLESS STEEL WIRES PROVIDE SCREENING AND SEPARATION TO BASEMENT CARPARK. WIRES EXTEND TO ROOF OF FLOOR OVER (DINING TERRACE) CREATING STATEMENT TO CORNER, AND PLEASANT OUTDOOR EXPERIENCE FOR DINERS.

MASS PLANTING TO LOW PLANTERS AT BASEMENT LEVEL. *Zamia furfuracea*, *Philodendron 'Rojo Congo'*, *Senecio mandraliscae* PLANTERS STEP WITH LEVEL CHANGE. LOW MASS PLANTING ON NATURAL GROUND TO BOUNDARY.

NEW STREET TREE PLANTING *Tristaniopsis Laurina* 'Luscious' MULCH TO BASE OF TREE.

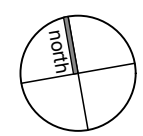
MASS PLANTING ON NATURAL GROUND. *Zamia furfuracea*, *Senecio mandraliscae*, *Allocasia brisbanensis*, *Kalanchoe thyrsiflora*. PLANT HEIGHTS TO FOLLOW LEVEL CHANGE.

PLANTER TO CREATE ARTICULATION ALONG CARPARK EDGE. TOW 19.900

SHADE TOLERANT PLANTING OF MEDIUM HEIGHT TO SOFTEN CONNECTION TO CARPARK WHILE STILL PROVIDING CLEAR SIGHTLINES TO TENANCIES EG. *Astelia chathamica*, *Allocasia brisbanensis* AND *Aspidistra elatior*

NOTE: SUFFICIENT SPACE FOR 1500MM FOOTPATH TO PORT STEPHENS COUNCIL TYPICAL DETAIL IF DESIRED.

GRAVEL TO SIDE BOUNDARIES. SCREEN PLANTING TO WATERTANKS.



terras
landscape architects

412 KING STREET NEWCASTLE NSW AUSTRALIA 2300
TERRAS.COM.AU PH: 49 294 926 FAX: 49 263 069

PLANTING SCHEDULE | L201

MEDOWIE MIXED USE



01



02



TL



03



06



04



07 + 08



05



09

PLANT SCHEDULE				
No.	Botanical Name	Common Name	Height	Width
TREES				
TL	<i>Tristania laurina</i> 'Luscious'	Kanooka Gum	8 m	4 m
CLIMBERS				
01	<i>Stephanotis floribunda</i>	Madagascar Jasmine	6.0 m	2.0 m
02	<i>Trachelospermum jasminoides</i>	Star Jasmine		
PLANTING				
03	<i>Zamia furfuracea</i>	Cardboard Palm	1.0 m	2.0 m
04	<i>Philodendron tatei</i> ssp <i>melanochlorum</i> rojo congo	Philodendron 'Rojo Congo'	1.5m	1.0 m
05	<i>Senecio mandraliscae</i>	Blue Chalksticks	0.5 m	0.5 m
06	<i>Astelia chathamica</i>	Silver Spears	1.2 m	1.0 m
07	<i>Allocasia brisbanensis</i>	Elephants Ears	2.0 m	1.5 m
08	<i>Aspidistra elatior</i>	Cast Iron Plant	0.6 m	0.6 m
09	<i>Kalanchoe thyrsiflora</i>	Flapjacks	0.5 m	0.5 m

A 21/2/20 DA ISSUE
REV DATE COMMENTS

PROJECT:
MEDOWIE MIXED USE

SITE:
MUIR STREET MEDOWIE, NSW,
2318

CLIENT:
MAVID GROUP, 81 MUSTANG
DRIVE, RUTHERFORD

13003.5_Medowie Mixed Use.vwx 21/2/20

DRAWN: DATE: SCALE:
AP / PW 21.02.20 @A3

JOB NUMBER: PHASE: DWG No: REV:
13003.5 DA L201 A

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7. DIMENSIONS AND AREA(S) SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO CONFIRMATION BY BOUNDARY SURVEY.
8. SERVICES SHOWN ARE INDICATIVE ONLY. POSITIONS ARE BASED ON SERVICE DIAGRAMS PROVIDED BY THE RELEVANT SERVICE AUTHORITIES THROUGH DIAL BEFORE YOU DIG REQUEST MADE - 25032019. CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO ANY EXCAVATION WORK. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN.
9. LEVELS ARE BASED ON AUSTRALIAN HEIGHT DATUM (AHD) USING PM 12018 WITH RL OF 9.025m LOCATED AT COFFS HARBOUR.
10. ORIGIN OF CO-ORDINATES PM 12018 WITH MGA CO-ORDINATE VALUES OF E 510328.022 N 6648343.587
11. CONTOURS ARE AN INDICATION OF LANDFORM AND SHOULD NOT BE TAKEN IN PREFERENCE TO SPOT LEVELS SHOWN.
12. CONTOUR INTERVAL 0.25m.



Photograph 1



Photograph 2



Photograph 3



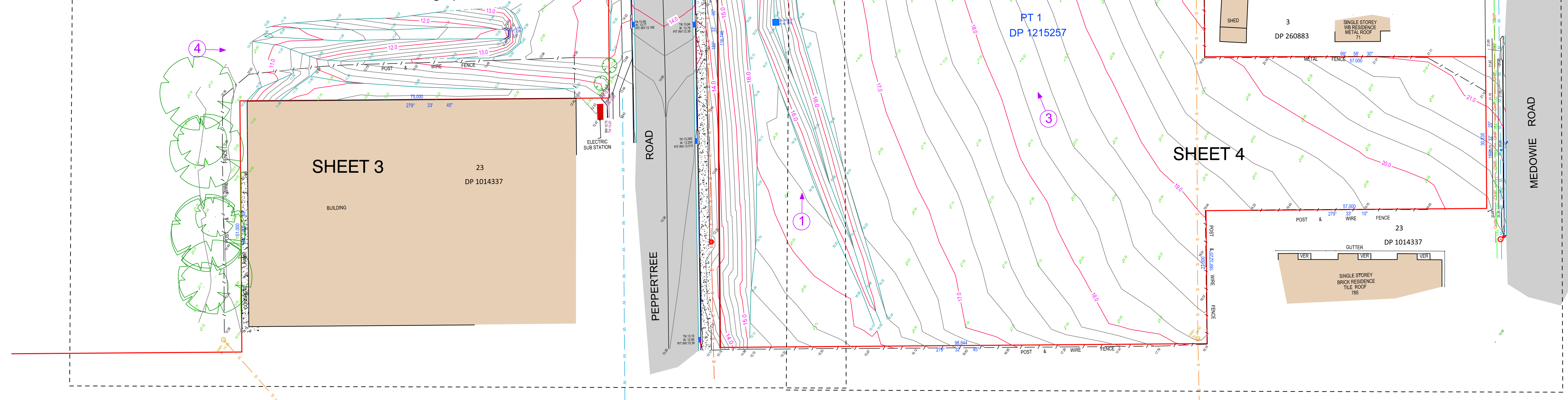
Photograph 4

LEGEND

- / — FENCE
— S — SEWER
— W — WATER
— TEL — TELSTRA
— GAS — GAS
— OHP — OVERHEAD POWER
— E — ELECTRICITY
- TELSTRA
SEWER MANHOLE
HYD
HYDRANT
SV
STOP VALVE
SIGN POST
LIGHT POST
- BUILDING HATCH
DECK/MISC BUILDING HATCH
CONCRETE HATCH
ROAD HATCH
STORM HATCH
POWER POLE



Photograph 5



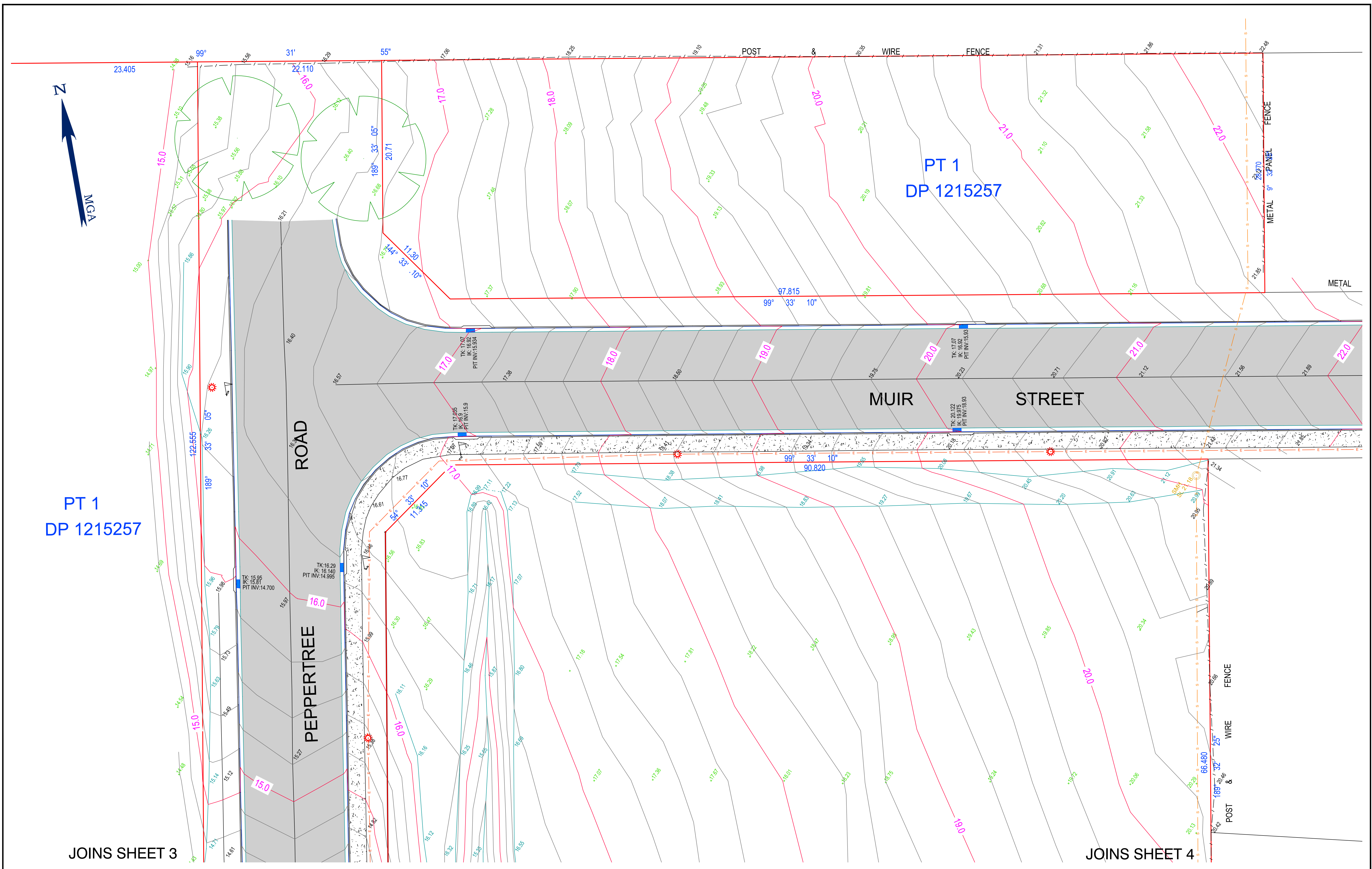
REVISIONS				
No.	DATE	REVISION DETAILS	DRAWN	CHK
B	2/04/2019	ADDITIONAL DETAIL	DA	DA
A	25-03-2019	DETAIL PLAN	DA	DA

HORIZ. SCALE:	1:400
VERT. SCALE:	N/A @ A1
COORDINATES:	MGA
DATUM:	AHD
ORIGIN:	PM 30024
ORIGIN:	PM 30024
SCALE IN METRES AT ORIGINAL REDUCTION RATIO	

NOTES		

CLIENT:	
SURVEY:	MW
DRAWN:	DA
CHECKED:	DA
APPROVED:	DSR
DATE OF SURVEY:	22-03-2019
DATE OF PLAN:	25-03-2019
DATE LAST SAVED:	02-04-2019
DATE APPROVED:	25-03-2019

TITLE	Detail Survey PT 1 DP 1215257, Medowie
DRAWING No.	143433 - Medowie Rd, Medowie - Detail Plan.dwg
JOB No.	143433
ISSUE	B
SIZE	A1
SHEET	1 OF 4 SHEETS



REVISIONS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				</
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REVISIONS				NOTES				
No.	DATE	REVISION DETAILS	DRAWN	CHK	APP			
B	2/04/2019	ADDITIONAL DETAIL	DA	DA	DSR			
A	25-03-2019	DETAIL SURVEY	DA	DA	DSR			

HORIZ. SCALE:		VERT. SCALE:	
1:200		N/A @ A1	
COORDINATES: MGA		DATUM: AHD	
ORIGIN: PM 30024		ORIGIN: PM 30024	

CLIENT:		TITLE	
PORT STEPHENS		Detail Survey	
SURVEY: MW		PT 1 DP 1215257, Medowie	
DRAWN: DA		DATE OF SURVEY: 22-03-2019	
CHECKED: DA		DATE OF PLAN: 25-03-2019	
APPROVED: DSR		DATE LAST SAVED: 02-04-2019	
		DATE APPROVED: 25-03-2019	

JOB No		ISSUE	
143433		B	
www.dialbeforeyoudig.com.au		DIAL1100 BEFORE YOU DIG	
SHEET 3 OF 4 SHEETS		SIZE A1	

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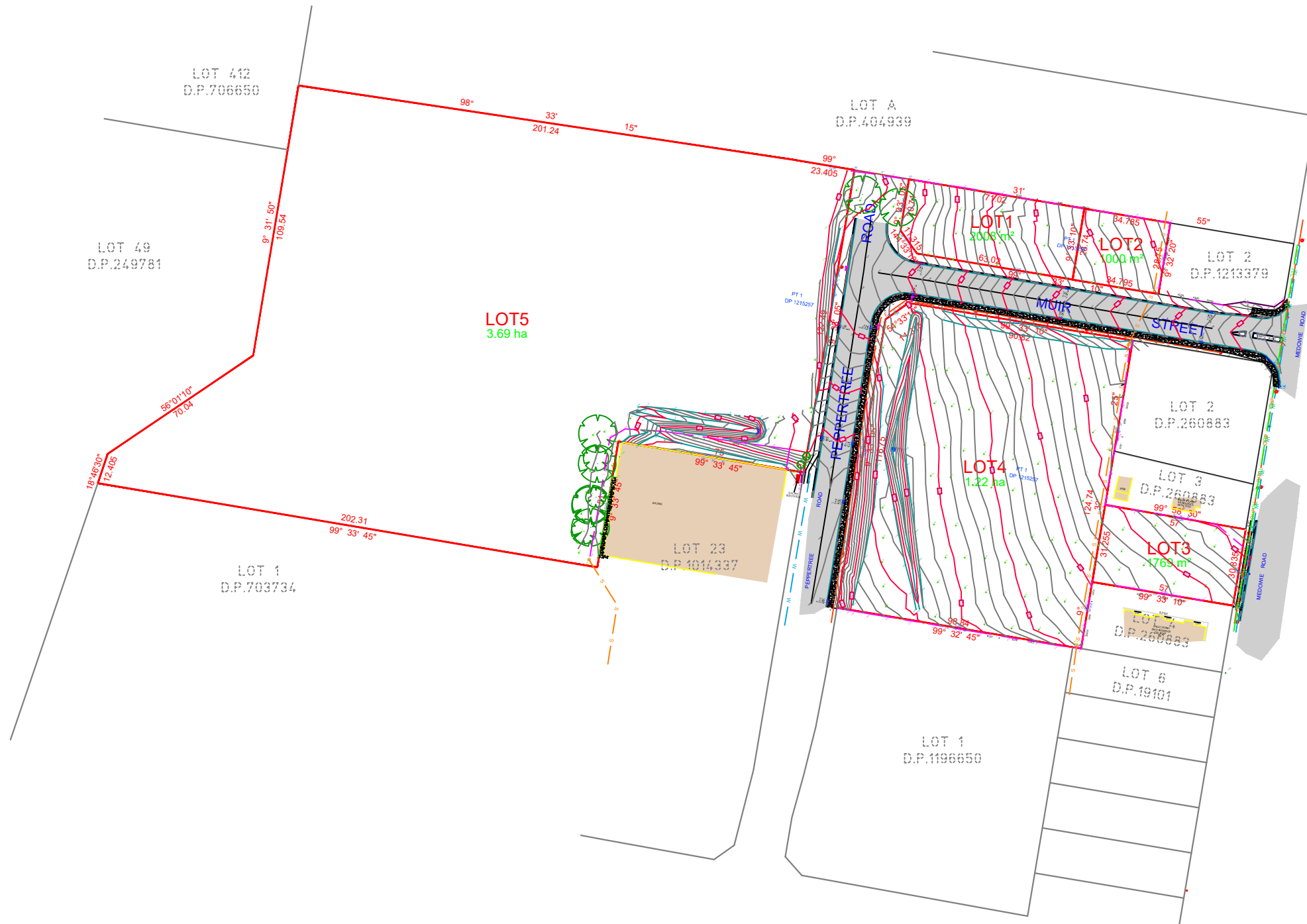
MAKING COMPLEX EASY

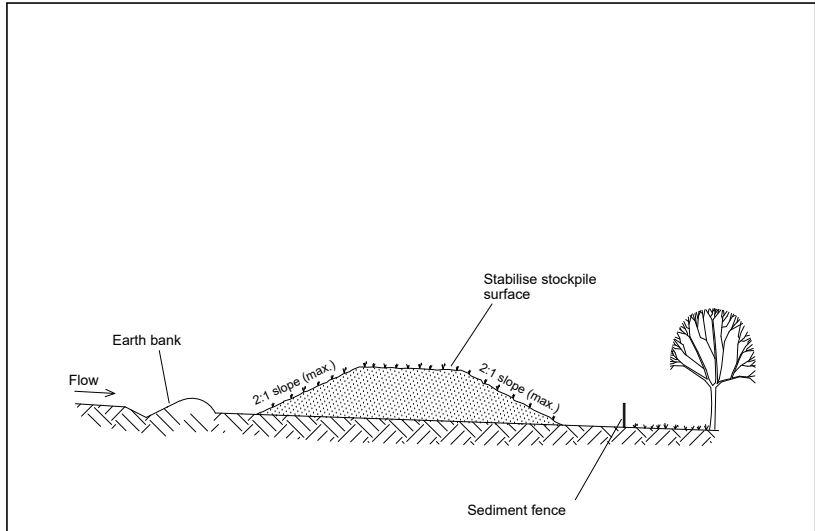
J:\JOBS\143K\143433 Medowie\04_Survey\7_Survey tasks\DETAIL\143433 - Medowie Rd, Medowie - Detail Plan.dwg

[illegible]

			HORIZ. SCALE: 1:200	VERT. SCALE: N/A @ A1	NOTES:	CUSTOMER LOGO 	TITLE Detail Survey PT 1 DP 1215257, Medowie	JOB No. 143433	ISSUE B
			COORDINATES: MGA	DATUM: AHD		SURVEY: MW	DATE OF SURVEY 22-03-2019	www.diabeforeyoudig.com.au	
B	2/04/2019	ADDITIONAL DETAIL				DRAWN: DA	DATE OF PLAN: 25-03-2019	DIAL T100 BEFORE YOU DIG	
A	25-03-2019	DETAIL PLAN				CHECKED: DA	DATE LAST SAVED 02.04.2019		
No.	DATE	REVISION DETAILS	DRAWN	CHK	APP	APPROVED: DSR	DATE APPROVED 25-03-2019		
								DRAWING NO. 143433 - Medowie Rd, Medowie - Detail Plan.dwg	SHEET 4 OF 4 SHEETS
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								MAKING COMPLEX EASY	RPS

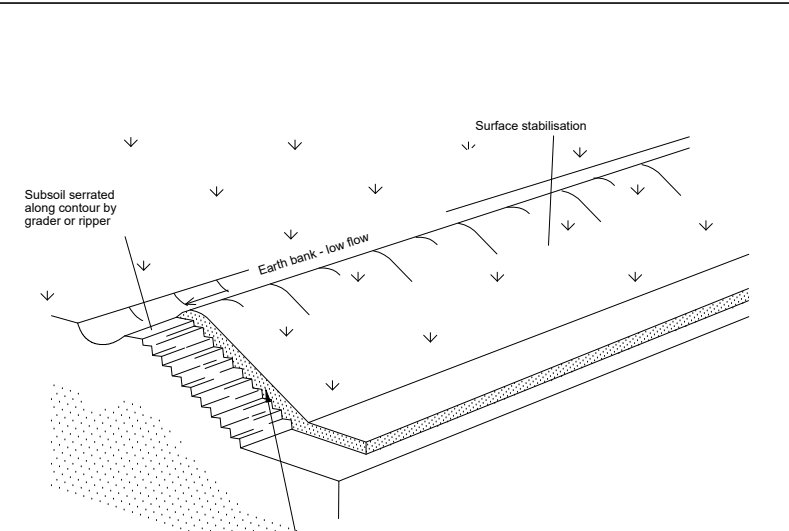
FENCE	TELSTRA	BUILDING BUILDING
SEWER	HYD SEWER MANHOLE	DECKMISC BUILDING HATCH
WATER	SV HYDRANT	CONCRETE HATCH
TELSTRA	STOP VALVE	ROAD HATCH
GAS	SIGN POST	STORM HATCH
OVERHEAD POWER	LIGHT POST	POWER POLE
ELECTRICITY		





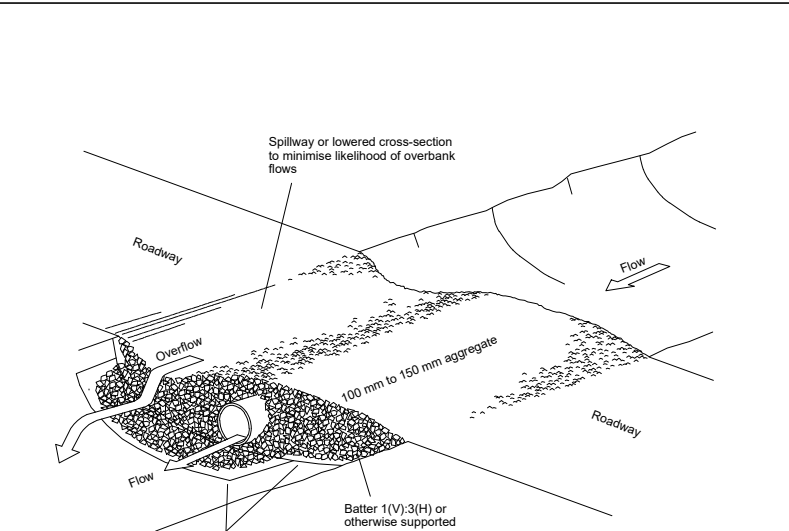
- Construction Notes**
1. Place stockpiles more than 2 (preferably 5) metres from existing vegetation, concentrated water flow, roads and hazard areas.
 2. Construct on the contour as low, flat, elongated mounds.
 3. Where there is sufficient area, topsoil stockpiles shall be less than 2 metres in height.
 4. Where they are to be in place for more than 10 days, stabilise following the approved ESCP or SWMP to reduce the C-factor to less than 0.10.
 5. Construct earth banks (Standard Drawing 5-5) on the upslope side to divert water around stockpiles and sediment fences (Standard Drawing 6-8) 1 to 2 metres downslope.

STOCKPILES SD 4-1



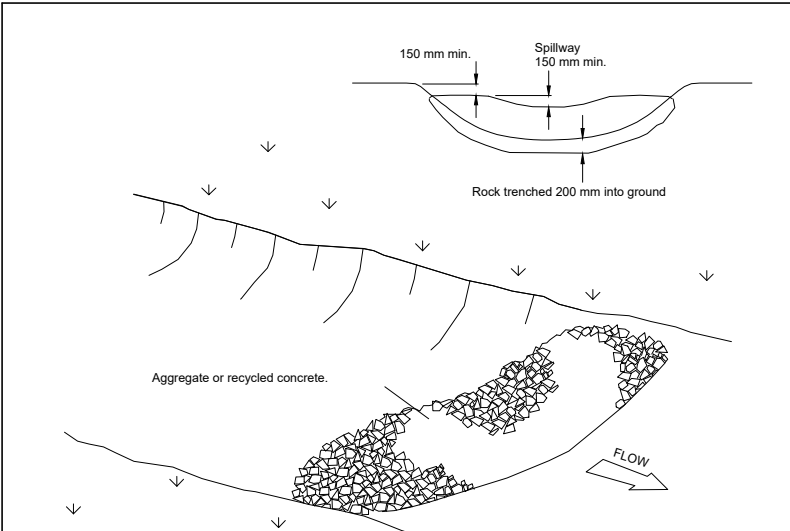
- Construction Notes**
1. Scarify the ground surface along the line of the contour to a depth of 50 mm to 100 mm to break up any handsetting surfaces and to provide a good bond between the respread material and subsoil.
 2. Add soil ameliorants as required by the ESCP or SWMP.
 3. Rip to a depth of 300 mm if compacted layers occur.
 4. Where possible, replace topsoil to a depth of 40 to 60 mm on lands where the slope exceeds 4(H):1(V) and is at least 75 mm on lower gradients.

REPLACING TOPSOIL SD 4-2



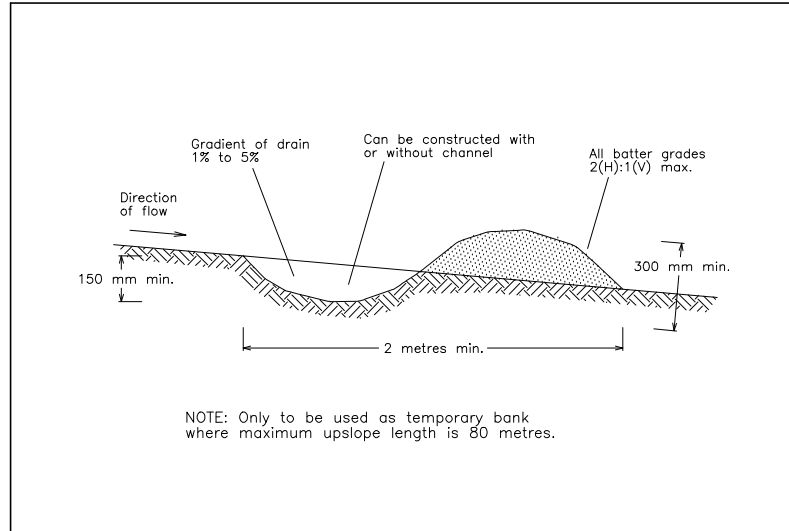
- Construction Notes**
1. Prohibit all traffic until the access way is constructed.
 2. Strip any topsoil and place a needle-punched textile over the base of the crossing.
 3. Place clean, rigid, non polluting aggregate or gravel in the 100 mm to 150 mm size class over the fabric to a minimum depth of 200 mm.
 4. Provide a 3-metre wide carriageway with sufficient length of culvert pipe to allow less than a 3(H): 1(V) slope on side batters.
 5. Install a lower section to act as an emergency spillway in greater than 150 mm lower than the outer edges.
 6. Ensure that culvert outlets extend beyond the toe of fill embankments.

TEMPORARY WATERWAY CROSSING SD 5-1



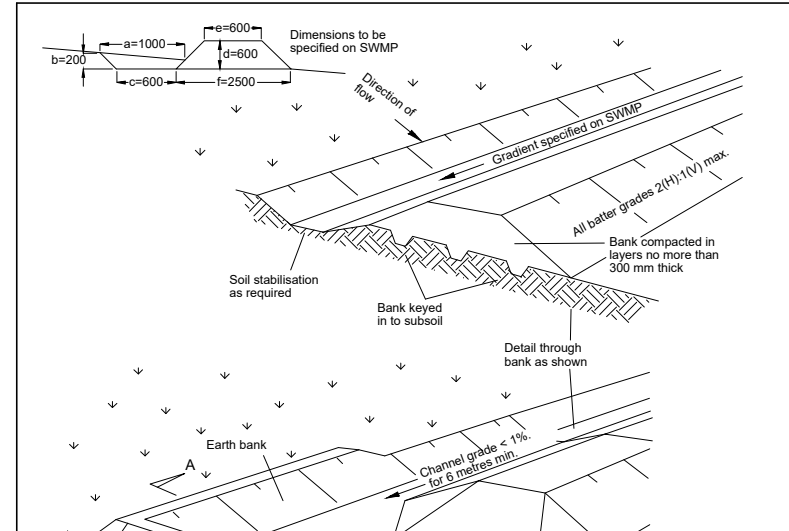
- Construction Notes**
1. Check dams can be built with various materials, including rocks, logs, sandbags and straw bales. The maintenance program should ensure their integrity is retained, especially where constructed with straw bales. In the case of bales, this might require their replacement each two to four months.
 2. Trench the check dam 200 mm into the ground across its whole width. Where rock is used, fill the trenches to at least 100 mm above the ground surface to reduce the risk of undercutting.
 3. Normally, their maximum height should not exceed 600 mm above the gully floor. The centre should act as a spillway, being at least 150 mm lower than the outer edges.
 4. Space the dams so the toe of the upstream dam is level with the spillway of the next downstream dam.

ROCK CHECK DAM SD 5-4



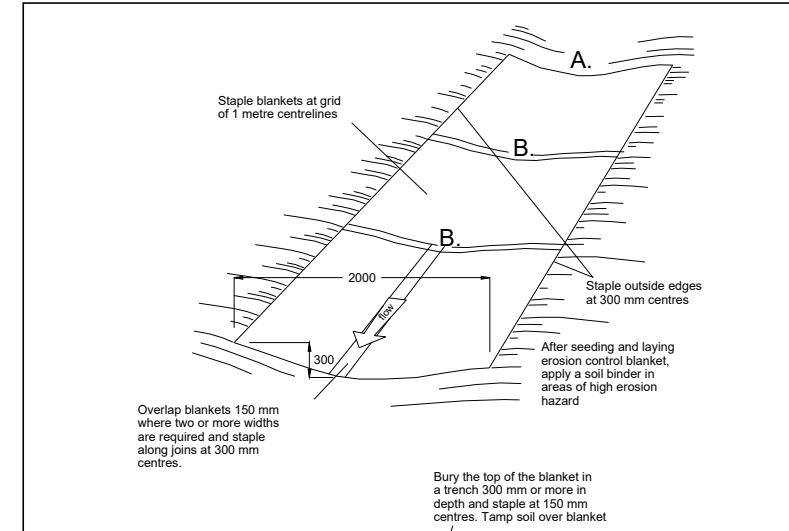
- Construction Notes**
1. Build with gradients between 1 percent and 5 percent.
 2. Avoid removing trees and shrubs if possible - work around them.
 3. Ensure the structures are free of projections or other irregularities that could impede water flow.
 4. Build the drains with circular, parabolic or trapezoidal cross sections, not V-shaped.
 5. Ensure the banks are properly compacted to prevent failure.
 6. Complete permanent or temporary stabilisation within 10 days of construction.

EARTH BANK (LOW FLOW) SD 5-5



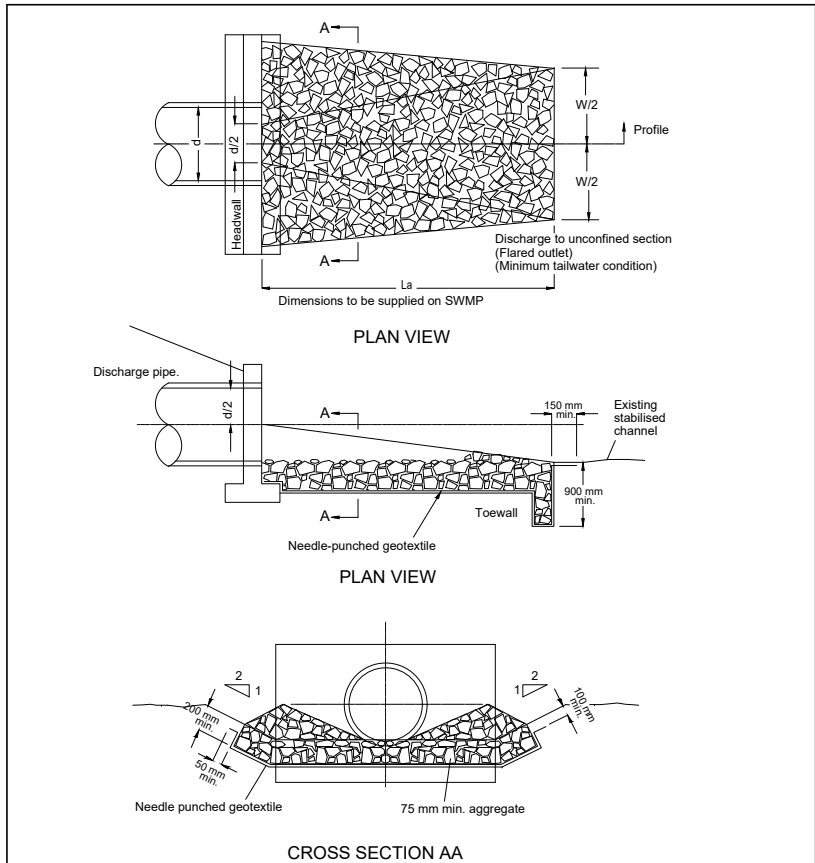
- Construction Notes**
1. Construct at the gradient specified on the ESCP or SWMP, normally between 1 and 5 percent
 2. Avoid removing trees and shrubs if possible - work around them.
 3. Ensure the structures are free of projections or other irregularities that could impede water flow.
 4. Build the drains with circular, parabolic or trapezoidal cross sections, not V-shaped, at the dimensions shown on the SWMP.
 5. Ensure the banks are properly compacted to prevent failure.
 6. Complete permanent or temporary stabilisation within 10 days of construction following Table 5.2 in Landcom (2004).
 7. Where discharging to erodible lands, ensure they outlet through a properly constructed level spreader.
 8. Construct the level spreader at the gradient specified on the ESCP or SWMP, normally less than 1 percent or level.
 9. Where possible, ensure they discharge waters onto either stabilised or undisturbed disposal sites within the same subcatchment area from which the water originated. Approval might be required to discharge into other subcatchments.

EARTH BANK (HIGH FLOWS) SD 5-6



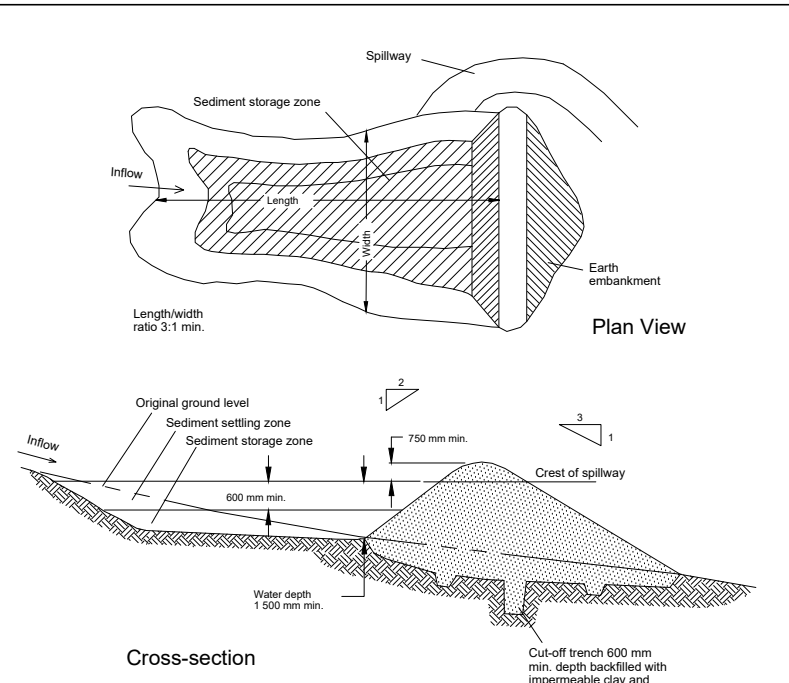
- Construction Notes**
1. Remove any rocks, clods, sticks or grass from the surface before laying matting
 2. Ensure that topsoil is at least 75 mm deep.
 3. Complete fertilising and seeding before laying the matting.
 4. Ensure fabric will be continuously in contact with the soil by grading the surface carefully first.
 5. Lay the fabric in "shingle-fashion", with the end of each upstream roll overlapping those downstream. Ensure each roll is anchored properly at its upslope end.
 6. Ensure that the full width of flow in the channel is covered by the matting up to the design storm event, usually in the 10-year ARI time of concentration storm event.
 7. Divert water from the structure until vegetation is stabilised properly.

RECP : CONCENTRATED FLOW SD 5-7



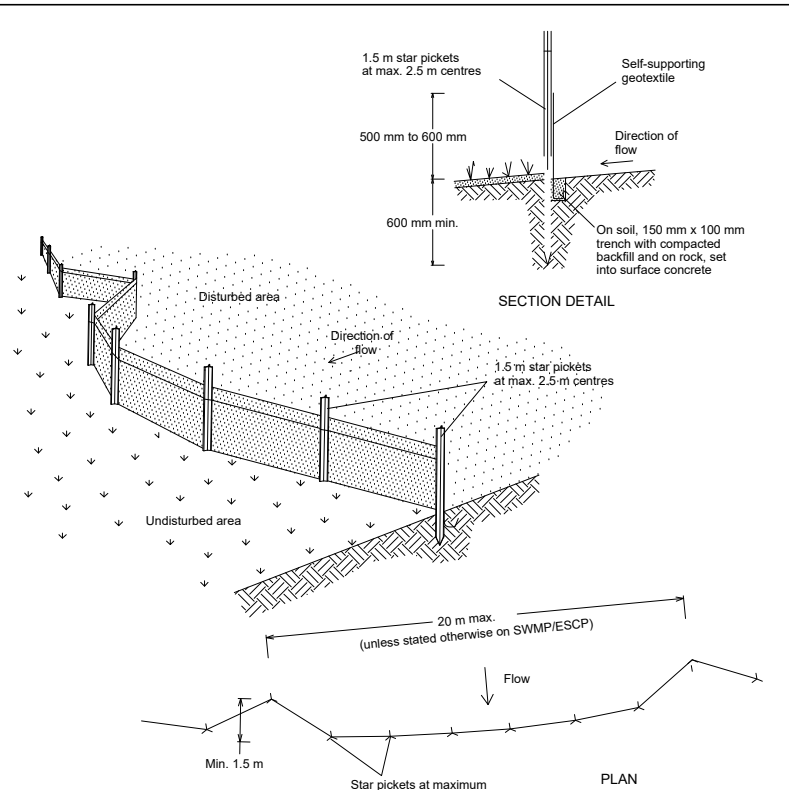
- Construction Notes**
1. Compact the subgrade fill to the density of the surrounding undisturbed material.
 2. Prepare a smooth, even foundation for the structure that will ensure that the needle-punched geotextile does not sustain serious damage when covered with rock.
 3. Should any minor damage to the geotextile occur, repair it before spreading any aggregate. For repairs, patch one piece of fabric over the damage, making sure that all joints and patches overlap more than 300 mm.
 4. Lay rock following the drawing, according to Table 5.2 of Landcom (2004) and with a minimum diameter of 75 mm.
 5. Ensure that any concrete or riprap used for the energy dissipater or the outlet protection conforms to the grading limits specified on the SWMP.

ENERGY DISSIPATER SD 5-8



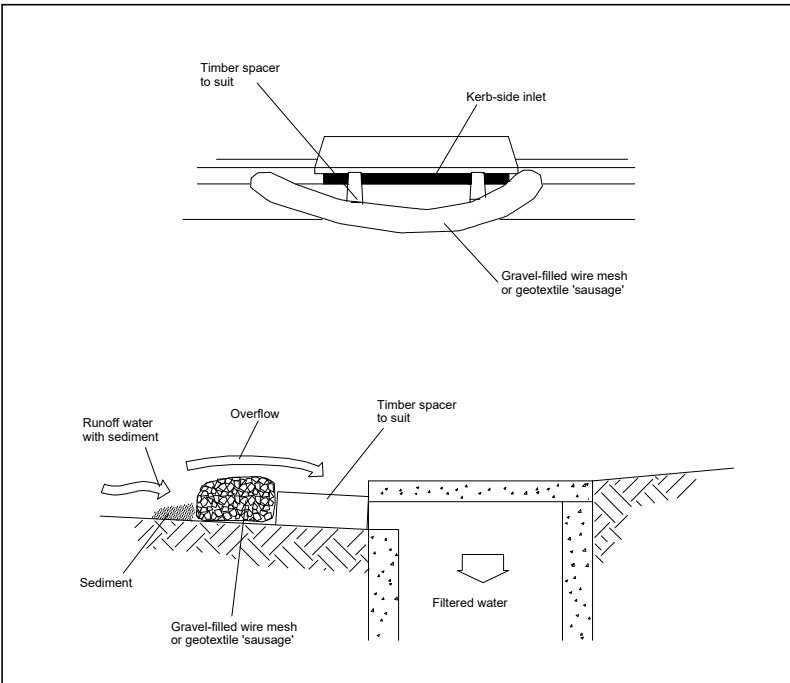
- Construction Notes**
1. Remove all vegetation and topsoil from under the dam wall and from within the storage area.
 2. Construct a cut-off trench 500 mm deep and 1,200 mm wide along the centreline of the embankment extending to a point on the gully wall level with the riser crest.
 3. Maintain the trench free of water and recompact the materials with equipment as specified in the SWMP to 95 per cent Standard Proctor Density.
 4. Select fill following the SWMP that is free of roots, wood, rock, large stone or foreign material.
 5. Prepare the site under the embankment by ripping to at least 100 mm to help bond compacted fill to the existing substrate.
 6. Spread the fill in 100 mm to 150 mm layers and compact it at optimum moisture content following the SWMP.
 7. Construct the emergency spillway.
 8. Rehabilitate the structure following the SWMP.

EARTH BASIN - WET (APPLIES TO TYPE D' AND TYPE F' SOILS ONLY) SD 6-4



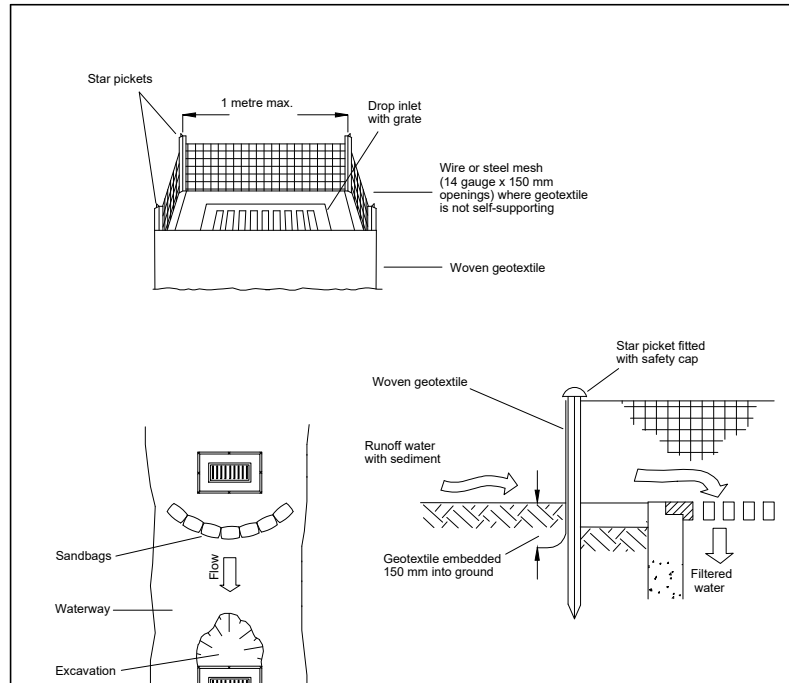
- Construction Notes**
1. Construct sediment fences as close as possible to being parallel to the contours of the site, but with small returns as shown in the drawing to limit the catchment area of any one section. The catchment area should be small enough to limit water flow if concentrated at one point to 90 litres per second in the design storm event, usually the 10-year event.
 2. Cut a 150-mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
 3. Drive 1.5 metre long star pickets into ground at 2.5 metre intervals (max) at the downslope edge of the trench. Ensure any star pickets are fitted with safety caps.
 4. Fit self-supporting geotextile to the upslope side of the posts ensuring it goes to the base of the trench. Fit the geotextile with wire less or as recommended by the manufacturer. Only use geotextile specifically produced for sediment fencing. The use of shade cloth for this purpose is not satisfactory.
 5. Join sections of fabric at a support post with a 150-mm overlap.
 6. Backfill the trench over the base of the fabric and compact it thoroughly over the geotextile.

SEDIMENT FENCE SD 6-8



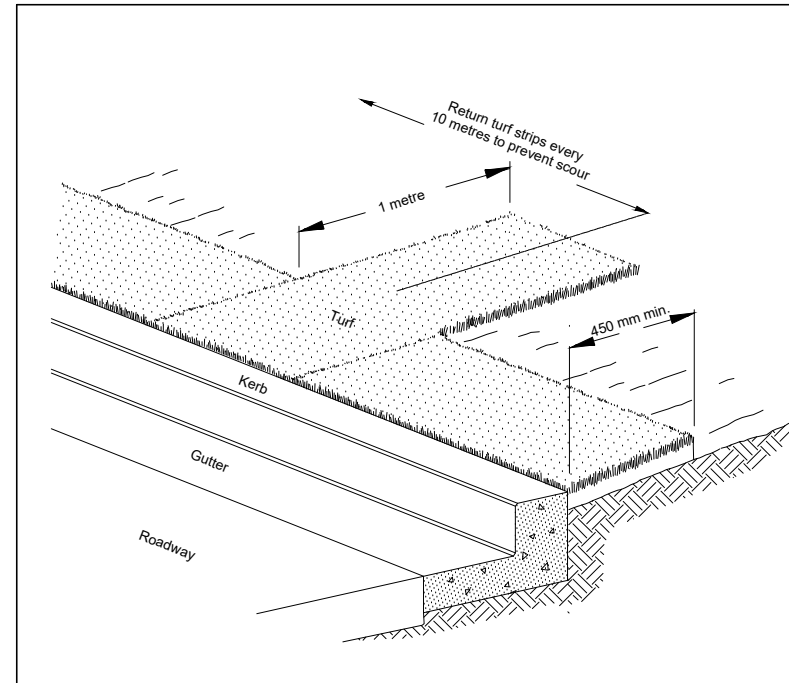
- Construction Notes**
1. Install filters to kerb inlets only at sag points.
 2. Fabricate a sleeve made from geotextile or wire mesh longer than the length of the inlet pit and fill it with 25 mm to 50 mm gravel.
 3. Form an elliptical cross-section about 150 mm high x 400 mm wide.
 4. Place the filter at the opening leaving at least a 100-mm space between it and the kerb inlet. Maintain the opening with spacer blocks.
 5. Form a seal with the kerbs to prevent sediment bypassing the filter.
 6. Sandbags filled with gravel can substitute for the mesh or geotextile providing they are placed so that they firmly abut each other and sediment-laden waters cannot pass between.

MESH AND GRAVEL INLET FILTER SD 6-11



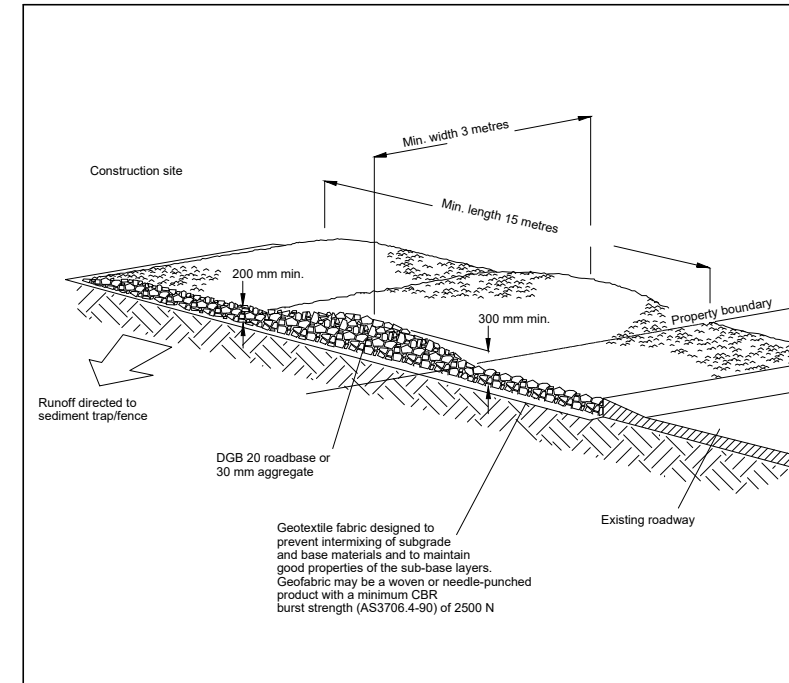
- Construction Notes**
1. Fabricate a sediment barrier made from geotextile or straw bales.
 2. Follow Standard Drawing 6-8 for installation procedures for the straw bales or geotextile. Reduce the picket spacing to 1 metre centres.
 3. In waterways, artificial sag points can be created with sandbags or earth banks as shown in the drawing.
 4. Do not cover the inlet with geotextile unless the design is adequate to allow for all waters to bypass it.

GEOTEXTILE INLET FILTER SD 6-12



- Construction Notes**
1. Install a 450 mm minimum wide roll of turf on the footpath next to the kerb and at the same level as the top of the kerb.
 2. Lay 1.4 metre long turf strips normal to the kerb every 10 metres.
 3. Rehabilitate disturbed soil behind the turf strip following the ESCP/SWMP.

KERBSIDE TURF STRIP SD 6-13



- Construction Notes**
1. Strip the topsoil, level the site and compact the subgrade.
 2. Cover the area with needle-punched geotextile.
 3. Construct a 200 mm thick pad over the geotextile using road base or 30 mm aggregate.
 4. Ensure the structure is at least 15 metres long to building alignment and at least 3 metres wide.
 5. Where a sediment fence joins onto the stabilised access, construct a hump in the stabilised access to divert water to the sediment fence

STABILISED SITE ACCESS SD 6-14

SEDIMENTATION AND EROSION CONTROL DETAILS

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1	REVISED DEVELOPMENT APPLICATION	10.9.20							DRAWN L.C.	ENGINEER P.M.	No in SET 7	SHEET A1
0	DEVELOPMENT APPLICATION	26.2.20							SCALES N.T.S	JOB No 200047	DRAWING No C02	ISSUE 1
ISSUE	REASON FOR ISSUE	DATE	DATE OF RELEASE	RESPONSIBLE PRINCIPAL SIGNATURE		ISSUE						

FULL SIZE ON ORIGINAL 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 cm



STORMWATER PLAN SHEET 2

SCALE 1:100

PIT SCHEDULE				
PIT No.	SIZE	TYPE	SURFACE LEVEL S.L.	INVERT LEVEL I.L.
P5	600x600	GRATED PIT	19.70	TO SUIT SUSPENDED SLAB
P6	600x600	GRATED PIT	19.70	TO SUIT SUSPENDED SLAB

STORMWATER NOTES
1. REFER TO DRAWING C03 FOR STORMWATER NOTES AND LEGEND.

NOTE
SETOUT AND ALIGNMENT OF WALLS TO BOUNDARY TO ARCHITECTS DETAILS TYPICAL

NOTE
ALL SETOUT, DIMENSIONS AND RL's TO ARCHITECTS SPECIFICATION & DETAILS

NOTE
DRIVEWAY GRADES TO CURRENT COUNCIL REQUIREMENTS. BUILDER TO CONFIRM GRADES PRIOR TO CONSTRUCTION OF DRIVEWAY

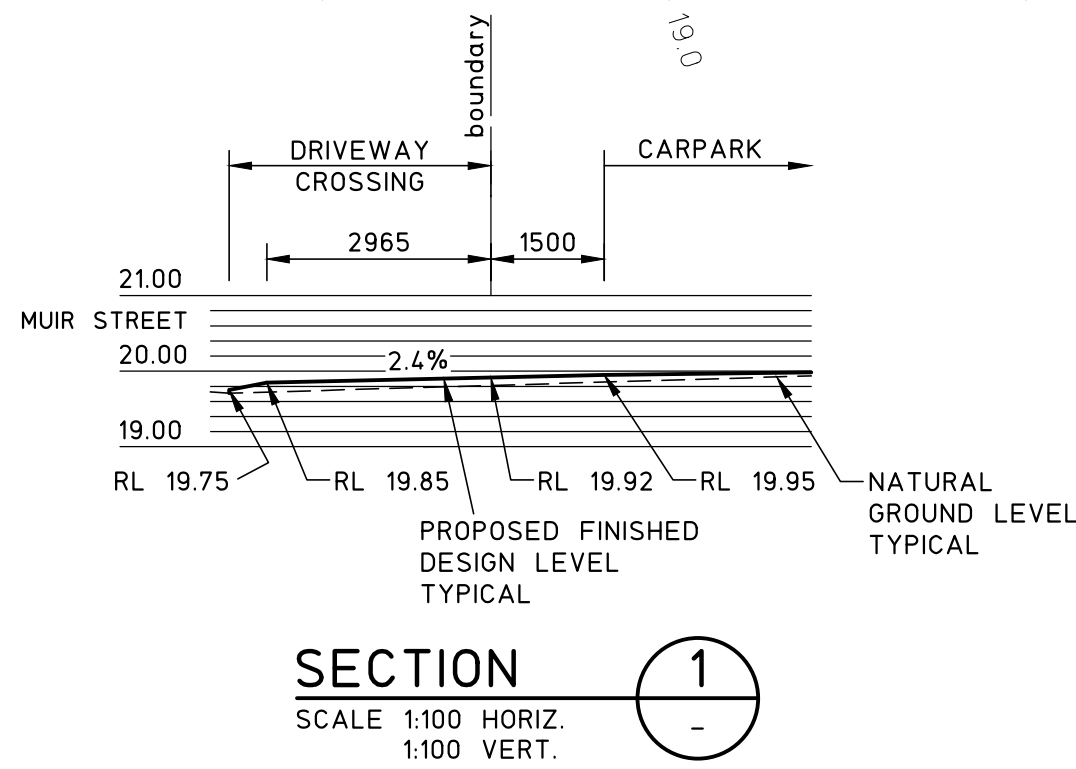
NOTE
ALL DOWNPIPES FROM DEVELOPMENT TO CONNECT TO ABOVE GROUND WATER STORAGE TANKS TYPICAL

NOTE
PROVIDE ECOSOL LITTER BASKETS IN ALL PITS WITH RFM PILLOWS IN EACH BASKET TYPICAL

NOTE
BUILDER TO PROVIDE ADEQUATE SHORING IN ORDER TO MAINTAIN STABILITY OF EXISTING NEIGHBOURING STRUCTURES AND FENCES DURING EXCAVATION WORKS TYPICAL

NOTE
ALL STRIP DRAINS AND AG LINES BEHIND RETAINING WALLS (RW1) AND KERBS (K1) TO CONNECT TO STORMWATER SYSTEM TYPICAL

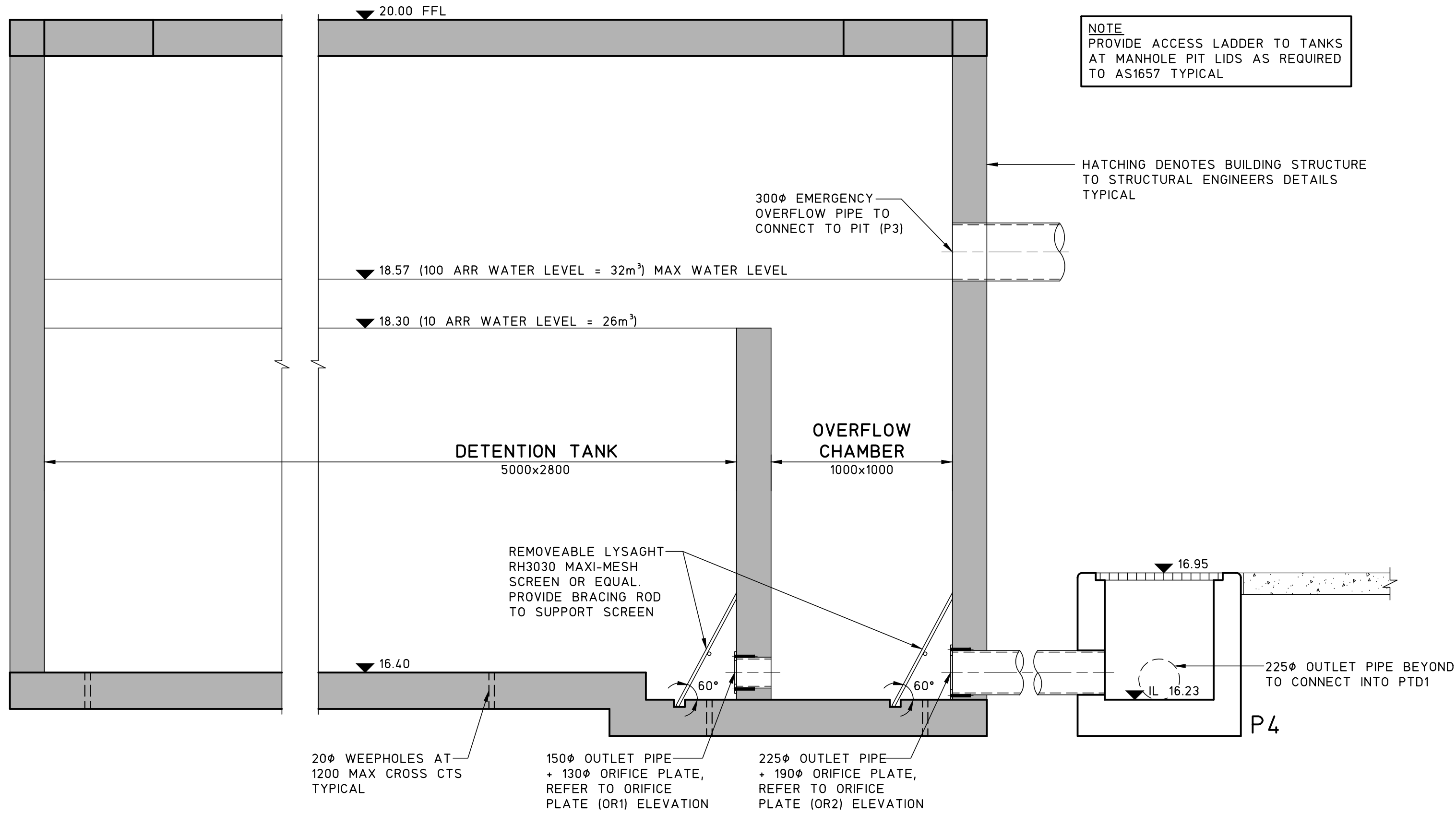
NOTE
ALL PITS TO HAVE ECOSOL LITTER BASKETS WITH REACTIVE FILTER MEDIA PILLOWS TO MANUFACTURERS SPECIFICATIONS



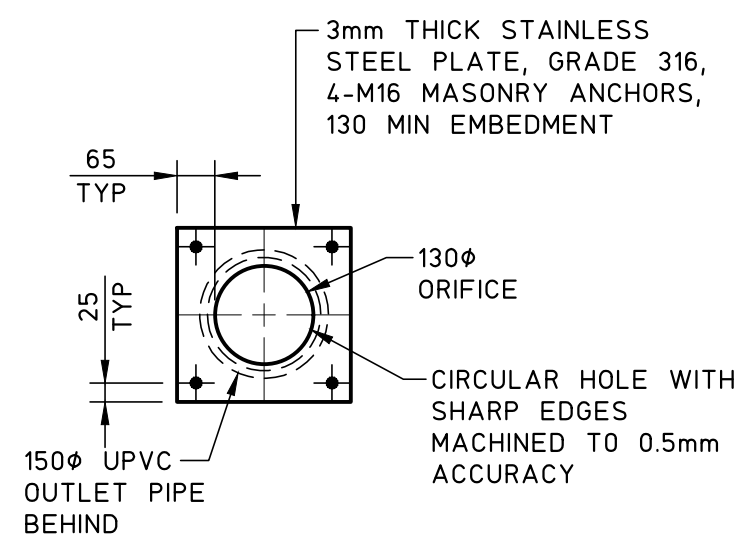
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3			REVISED DEVELOPMENT APPLICATION			10.9.20			TITLE			SHEET			ENGINEER P.M.		
2			REVISED DEVELOPMENT APPLICATION			30.7.20			STORMWATER PLAN			JOB No			No in SET		
1			DEVELOPMENT APPLICATION			26.2.20			SHEET 2 AND SECTION			200047			DRAWING No		
0			PRELIMINARY			24.2.20			SCALE 1:100			C04			ISSUE		
ISSUE			REASON FOR ISSUE			DATE			RESPONSIBLE PRINCIPAL SIGNATURE			3					

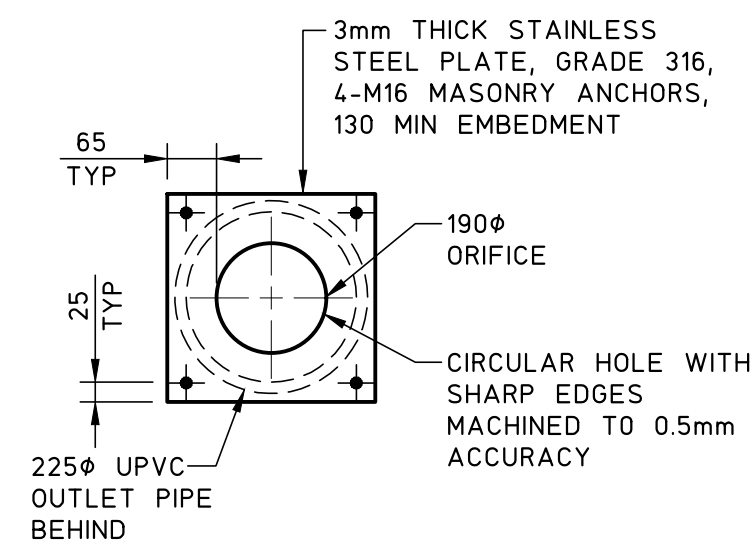
FULL SIZE ON ORIGINAL 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 cm



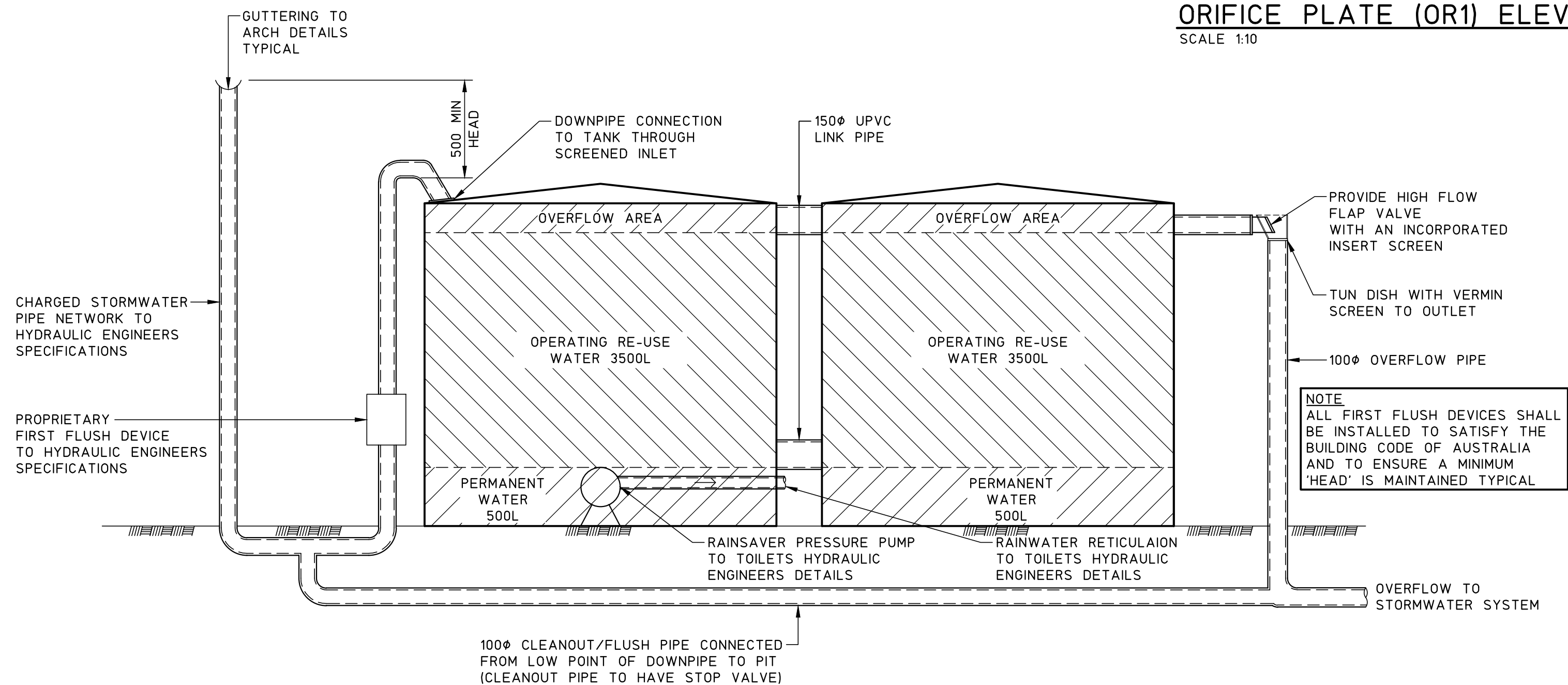
TYPICAL DETENTION AND OVERFLOW CHAMBER SECTION
SCALE 1:20



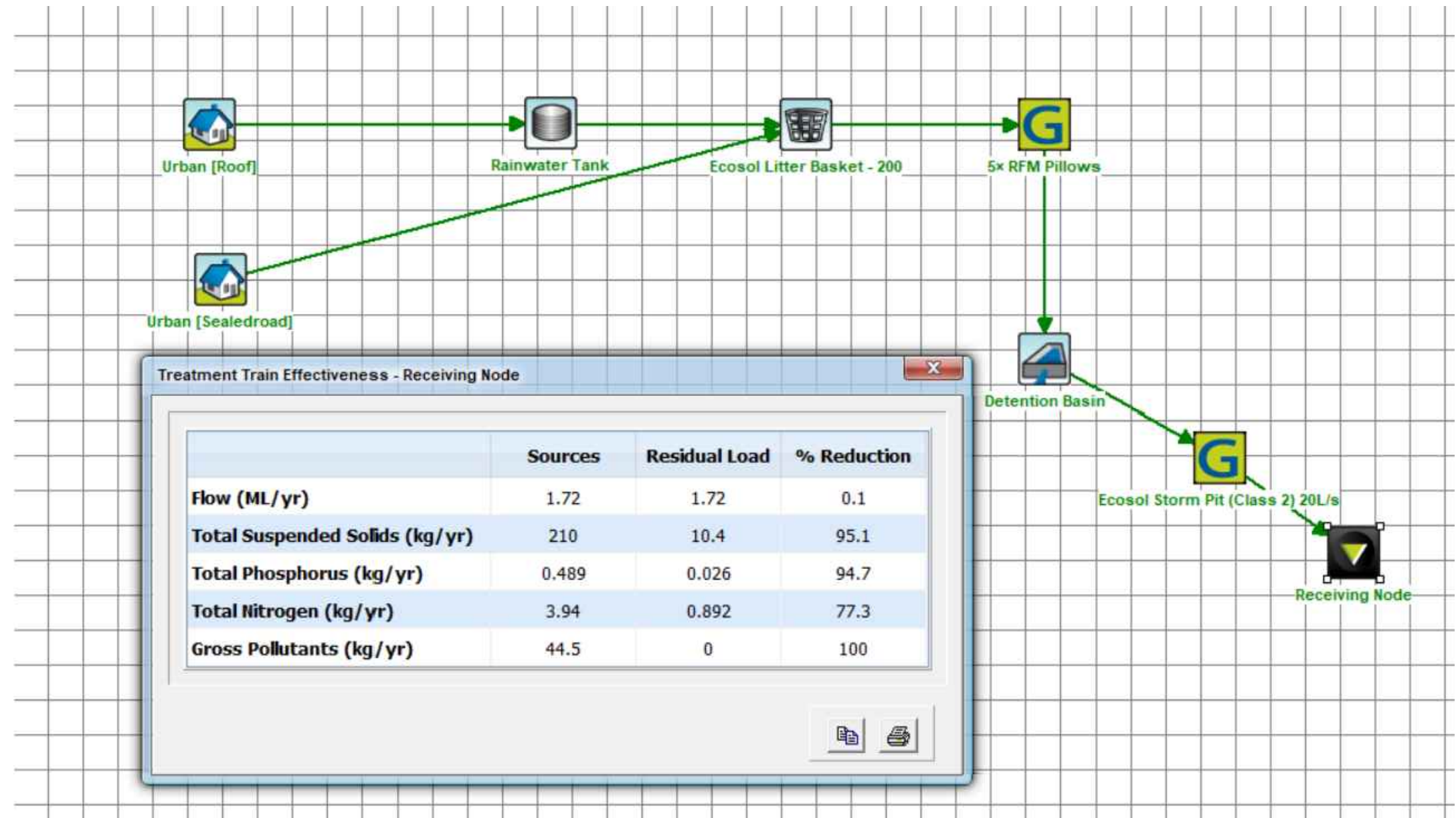
ORIFICE PLATE (OR1) ELEVATION
SCALE 1:10



ORIFICE PLATE (OR2) ELEVATION
SCALE 1:10



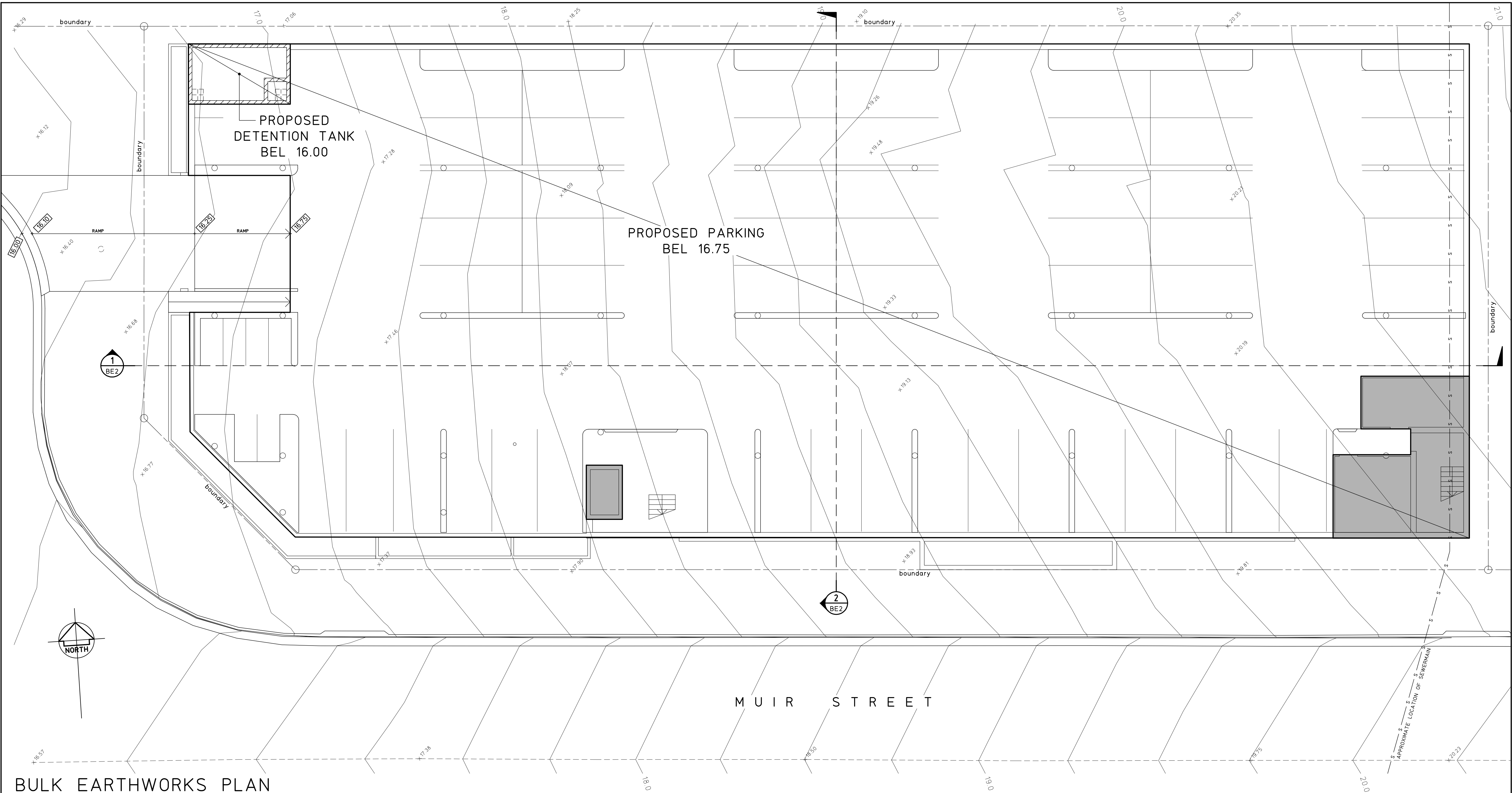
TYPICAL RAIN WATER TANK (T1) DETAIL
SCALE 1:20



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0	PRELIMINARY	24.2.20										SHEET A1						
ISSUE	REASON FOR ISSUE	DATE	DATE OF RELEASE	RESPONSIBLE PRINCIPAL SIGNATURE			ISSUE						SCALES 1:20, 10					
													JOB No 200047					
													DRAWING No C05					
													ISSUE 3					

FULL SIZE ON ORIGINAL 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 cm



BULK EARTHWORKS PLAN

SCALE 1:100

SITE PREPARATION NOTES

1. REMOVE TOPSOIL AND ALL OTHER DELETERIOUS MATERIALS.
2. FOOTINGS TO BE FOUNDED ON FIRM NATURAL CUT GROUND, NOT FILL.
3. ANY SOFT AREAS ENCOUNTERED TO BE REMOVED AND REPLACED WITH COMPACTED FILL.
4. ANY FILL MUST BE PLACED IN 150mm MAXIMUM LAYERS AND COMPACTED TO A RELATIVE DRY DENSITY OF 98% TO AS 1289.5.1.1. BUILDING CONTRACTOR TO PROVIDE COMPACTION TEST RESULTS TO MPC FOR REVIEW PRIOR TO POURING CONCRETE.

SUB-GRADE PREPARATION

1. REMOVE TOPSOIL AND ALL OTHER DELETERIOUS MATERIALS.
2. PROOF ROLL NATURAL SURFACE WITH A ROLLER OF AT LEAST 10 TONNE STATIC WEIGHT.
3. REMOVE ANY SOFT AREAS.
4. BUILDING PLATFORM AND EXTERNAL PAVING AREAS COMPACTION IS TO BE CARRIED OUT BY ROLLING AT OPTIMUM MOISTURE CONTENT TO OBTAIN A DENSITY EQUIVALENT OF 100% DRY DENSITY STANDARD IN ACCORDANCE WITH AS1289 E1.1.
5. TESTING OF THE SUBGRADE SHALL BE CARRIED OUT BY AN APPROVED NATA REGISTERED LABORATORY.

LEGEND

- DENOTES PROPOSED SUB-GRADE LEVEL
- DENOTES EXISTING LEVELS
- DENOTES DESIGN SUB-GRADE CONTOUR
- DENOTES EXISTING CONTOURS
- DENOTES PROPOSED SUB-GRADE LEVEL UNDER BUILDING (BULK EARTHWORKS LEVEL)

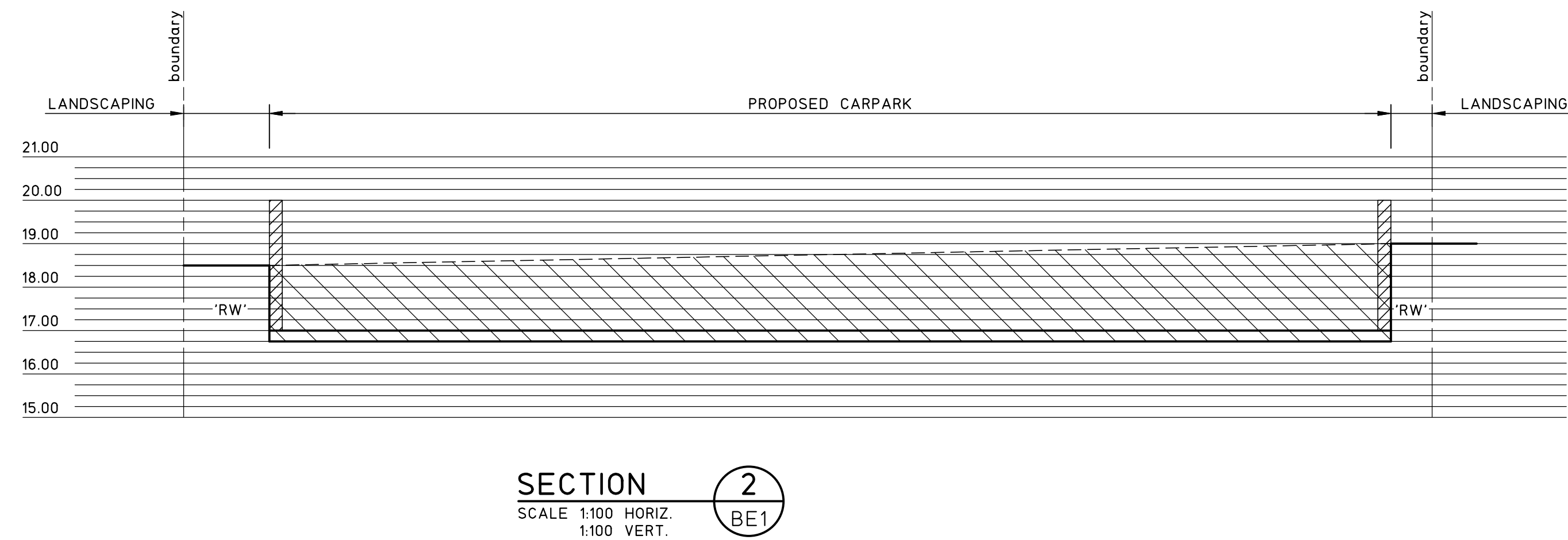
NOTE

ALL EXISTING TOPSOIL, UNCONTROLLED FILL, VEGETATION OR OTHER POTENTIALLY DELETERIOUS MATERIAL SHOULD BE REMOVED TO SPOIL OR STOCKPILED FOR REUSE AS LANDSCAPING MATERIALS ONLY.
ANY UNDERLYING VERY STIFF CLAYS AND WEATHERED ROCK SHOULD BE CAREFULLY STRIPPED AS NECESSARY AND STOCKPILED FOR REUSE AS GENERAL SITE FILL TYPICAL

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0			DEVELOPMENT APPLICATION			26.2.20			BULK EARTHWORKS PLAN			1:100			200047		C06	
ISSUE			REASON FOR ISSUE			DATE			RESPONSIBLE PRINCIPAL SIGNATURE			DATE			No in SET		SHEET	
															7		A1	
															ISSUE		1	

FULL SIZE ON ORIGINAL 0 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 cm



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